

Mirabella

at Mirasol



Architectural Design Standards

December 2024 Edition

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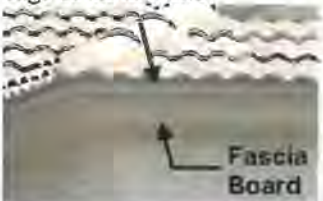
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A.	DEFINITIONS:
ADS	- These “Architectural Design Standards”
Applicant	- Person submitting an Application for ARC Approval (owner, contractor, vendor, property manager for the owner, etc.)
Application	- Packet of information comprising all paperwork necessary for ARC review
ARC	- Architectural Review Committee for Mirabella (defined further elsewhere in this ADS).
Architectural Drawings	- Drawings of building elements prepared by a licensed architect, designer, contractor, or others.
Awning	- Fabric covered metal frame serving as a roof and/or shade cover.
Catch basin	- Concrete or metal container sunk into the roadway curbing to collect road runoff and then connected by underground pipes into the lakes and drainage areas of the community.
City	- Incorporated city of Palm Beach Gardens, FL (in which Mirabella is located)
Draw-down samples	- Actual paint applied to a white, glossy, letter-sized, card by paint suppliers that best shows the true color in a large sample for accurate reviewing of paint colors.
Elevation	- Drawing or view of an entire wall of a house (“The east elevation of the house, which was the left side of the house, shown in one photo or on one drawing”)
Engineering Drawings	- Drawings usually of details, structural conditions, pools, etc., prepared by a licensed engineer.
Fascia trim/board	- The horizontal trim board around the perimeter of the roof located just beneath the bottom edge of the roof tile
	
Gable wall	-
	 Gable wall: Triangular shaped wall along the face of a house that extends up to meet the sloped roof
Hardscaping	- Paved surface using any hard, impervious or partially impervious materials (concrete, concrete pavers, brick, tile, stone slabs, wood, synthetic wood, etc.).
HOA	- The Mirabella at Mirasol Homeowners Association
Impervious Area	- Area of a lot covered with impervious materials that does not allow rainfall to percolate into the soil where the rain has fallen.
Impervious materials	- Materials that partially or completely stop the penetration of water through the material (e.g. concrete, asphalt, pavers, pools, brick, roofing).

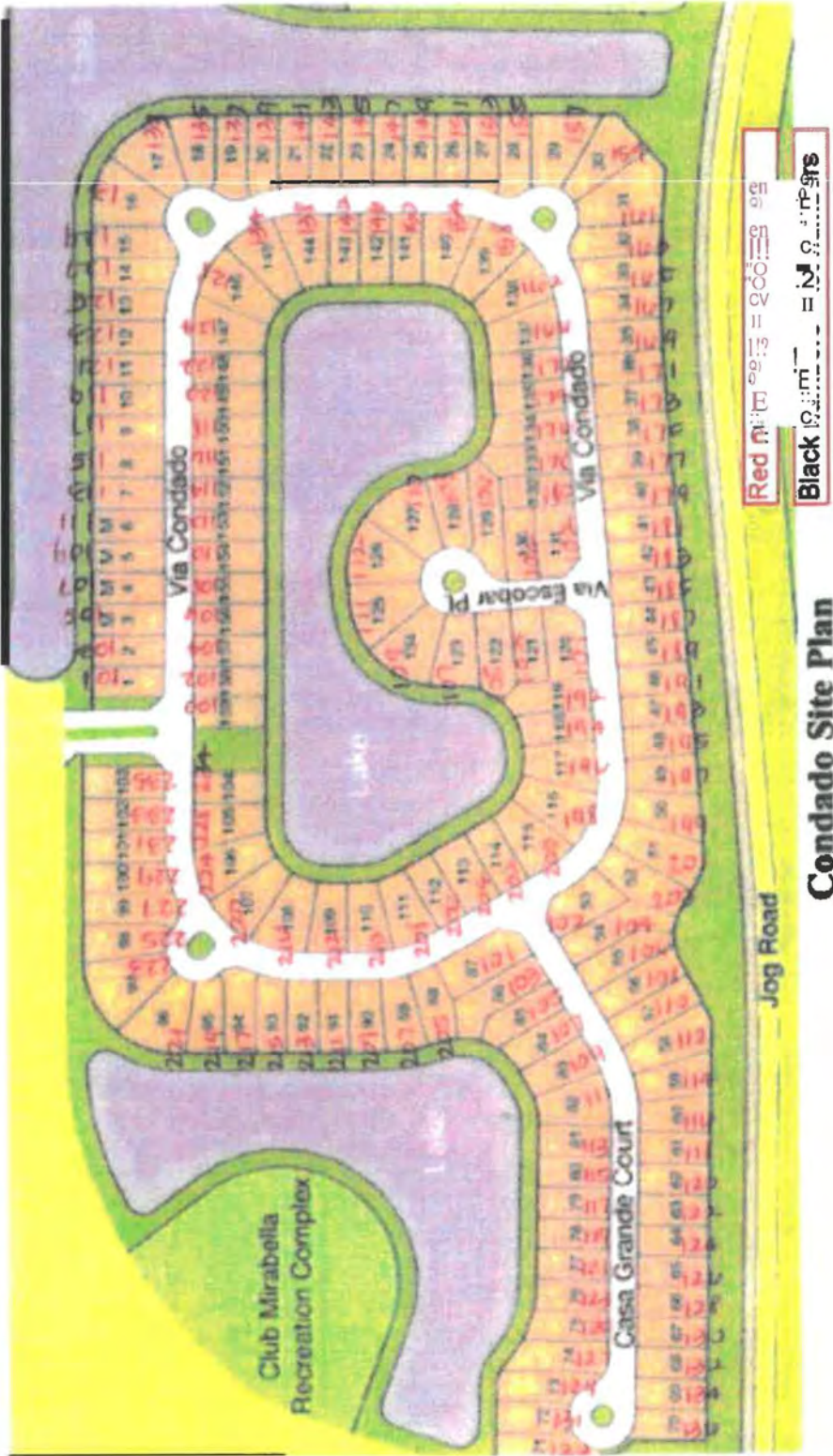
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Lot Area	- Square footage of a lot within the property lines
Lot Coverage	- As defined by the City, lot coverage is the area of a building enclosed by walls (e.g. house, garage, wall or glass enclosed porch) and open porch areas covered by hard roofs (front porch, back porch, etc.) divided by the lot area. Screened enclosed rooms do not count toward the lot coverage square footage.
Plants	- All landscaping elements other than grass and mulch (trees, hedges, shrubs, flowers)
Property	- Lot area owned by a resident defined by property lines
Runoff	- Water flowing along the ground from rainfall
Specs	- Specifications describing in detail information about materials
The Board	- Board of Directors of Mirabella who are elected to office by the Association's members.
To scale	- A drawing that is prepared to a standard architectural or engineering scale; the added information on a property survey to show an addition or new pool should be drawn at the same scale as the survey to properly represent the correct graphic size of the new work.
Understory	- Plantings at a lower height than the taller plantings above (i.e. shorter trees or shrubs planted underneath the canopy of a taller tree)
Zero Lot	- Lot style of Condado and Sedona where the house wall on one side of the house is on the property line and where a side yard exists from the front yard to the back yard down the opposite side of the house (see Exhibit 5 for an example of this lot style)
Zipper Lot	- Lot style of Isle Verde where the zero lot line wall of a house is on one side of the house for the front portion of the house and then flips to the opposite side of the house for the rear portion of the house; there is no front-to-back yard connection by any continuous side yard
ZLL	- Zero lot property line



Mirabella Site Plan (overall community)

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Coodado Site Piao



Isle Verde Site Plan

B. INTRODUCTION:

1. PREFACE:

This document is intended to provide guidance and establish a consistent set of architectural and landscaping design and maintenance standards for the Mirabella community. The aesthetics of individual houses and yards composes the theme and perceived value of the community as a whole. The cooperation of all Mirabella residents to embrace these standards will allow the community to remain an attractive place to live.

The "Declarations of Covenants and Restrictions – Mirabella Club Covenants" (hereafter known as the "Covenants"), dated 11/26/2002, as recorded in Official Record Book 14441, Page 1671 of the Public Records of Palm Beach County, Florida, established "Architectural Control" within the community under section 7.14 (page 24).

The Covenants established architectural control within the community as well as a method to achieve and maintain that architectural control through an "Architectural Review Committee" (ARC). The Covenants allow the ARC, with Board approval, to "promulgate such rules and regulations as it deems necessary to carry out the provisions" of architectural control within the community. This ADS document is the result of that ARC action and shall serve as the rules and regulations governing the architecture, landscaping, and maintenance of same within Mirabella.

It is understood and acknowledged by the Association that certain architectural details and treatments built by the developer (Kenco Communities) would not be acceptable design elements under these ADS. The existing architectural items installed by the developer, and that pre-date the adoption of the First Edition of these ADS in November of 2008, will be allowed to remain in place. The architectural and landscaping design elements stated in this ADS document shall pertain to all residents. The developer installed design details, where contradicted by this ADS, shall not serve as precedence for approving future design requests by residents.

2. The ARC shall review each Application from residents on a case-by-case basis. An approval of a similar condition for one resident does not create a precedent that then requires the ARC to abide by that previous decision for all other Applications of a similar nature to come to the ARC for approval. When the ARC makes a mistake in the approval of a part of an Application that also will not serve as a precedent then requiring the ARC to approve all subsequent, similar Applications wanting acceptance of the same incorrectly approved item.
3. **IMPORTANT NOTE: IT IS REQUIRED THAT ANY CHANGES TO THE EXTERIOR OF A PROPERTY, WHETHER TO THE BUILDING OR THE GROUNDS, MUST BE SUBMITTED TO THE ARC FOR REVIEW AND APPROVAL. VIOLATIONS OF THIS REQUIREMENT MAY THEN BE CONSIDERED BY THE ARC OR THE BOARD FOR REMEDIAL ACTION, FINES, ETC., AS SPECIFIED IN THE COVENANTS. THE OWNER SHALL BE REQUIRED TO RETURN THE PROPERTY TO THE CONDITION THAT EXISTED PRIOR TO THE UNAUTHORIZED CHANGE(S) OR TO A CONDITION COMPLIANT WITH THE ADS AND APPROVED BY THE ARC.**

C. GENERAL REQUIREMENTS & INFORMATION:

1. ARCHITECTURAL REVIEW COMMITTEE:

The ARC members are appointed by the Mirabella Board of Directors and serve at the pleasure of the Board. The ARC members shall review owners' applications for projects that fall under the purview of these ADS. The ARC's review and opinion shall be based on aesthetics and consistency of the architectural intentions throughout the community in order to maintain the quality, value, and appealing presentation of the community as it was originally intended. The ARC will not provide comments or opinions about structure, building or zoning code compliance, or safety. The ARC's sole purpose is to review projects for compliance and conformance with the ADS and the rules of the community. The ARC may provide its advisory opinion to the Board regarding an application that requires a variance to the rules and guidelines outlined in these ADS, but the ARC has no authority to approve variances. From time to time, the ARC may suggest changes to the ADS and present them to the Board for their consideration and approval or denial.

STRUCTURE FOR MIRABELLA ARCHITECTURAL REVIEW COMMITTEE

PURPOSE: The purpose of an Architectural Review Committee (ARC) is set forth in the resolutions in the Covenants. Members of the ARC have a fiduciary responsibility as set forth by the laws of the State of Florida to uphold and enforce these Covenants.

MANDATE: An informed ARC is essential so that decisions mandated by the Covenants are accurately made. It is essential that each ARC member be made aware of the issues slated for the monthly Agenda well in advance of the meeting. This enables each member to have time to study the issues and relate same to the Covenants.

STRUCTURE: The ARC shall elect a chairperson to conduct the business of the ARC. In the event that the Chair is absent from a meeting, a member of the ARC will be designated to lead the meeting. A majority of the ARC members present at a meeting must ratify all decisions. Therefore, a minimum of three (3) members must be present for a quorum. The ARC Liaison for the Board of Directors is not a voting member when the ARC has a quorum but may serve as a voting member of the ARC when there is not a quorum.

MEETINGS: Meetings shall be held as scheduled. Meetings shall be scheduled so that any resolutions can be determined in time for the HOA Property Management staff to prepare the monthly HOA agenda. Times for meetings will be scheduled in the best interest of all members. Notice of ARC meetings will be posted 48 hours in advance.

AGENDAS: A meeting agenda will be compiled by the HOA Property Management staff. This agenda should not only contain old and new business items necessitated by architectural requests and community issues but other relevant items Committee members wish to discuss. The agenda will be submitted to each and every ARC member before the meeting to enable Committee members to study the covenants at length and review all requests before the meeting.

2. ARC APPLICATION SUBMITTAL, REVIEW, AND APPROVAL PROCESS:

1. Submit the required information listed in the "Project Submittal Requirements" section of the ADS to the HOA office at the Clubhouse. The application for ARC approval will not be considered complete and acceptable to be placed on the ARC agenda for review until all of the submittal requirements have been satisfactorily accepted by the HOA Property Management staff.
2. The "Application for ARC Approval" must be signed by a legal owner of the property. The Application may be submitted by any party having authorization from the property owner.
3. The deadline for having a complete and acceptable application package into the ARC shall be closing time of the HOA office, 11 days prior to the day of an ARC scheduled meeting. Submittals will only be accepted by the Property Manager or On-Site Administrator during normal HOA office hours.
4. The ARC members will review and discuss the Application at a scheduled meeting. The ARC will not review Applications in between scheduled meetings.
5. The owner of the subject property is permitted to attend the meeting and be heard during the ARC's deliberations about the owner's Application. It will be at the discretion of the ARC chair whether non-owners (i.e. architect, engineer, designer, contractor, and vendor) associated with the Application will be permitted to speak at the ARC meeting since the meeting is open to residents and not to non-residents.
6. Applications for ARC approval that do not meet the rules as specified in the ADS shall either be disapproved, approved with comments and notations to bring the application into compliance with the ADS, or rejected with comments for the Applicant to consider in resubmitting a revised design, selections, choices, etc. The Applicant may resubmit a disapproved Application to the ARC if changes have been made to the disapproved Application that should then bring it into compliance with the ADS.
7. Should the Application be disapproved by the ARC and the Applicant does not want to make changes that would bring the Application into compliance with the ADS, the Applicant has the right to appeal the ARC's denial decision to the ARC at the next scheduled meeting. Such re-application will require submittal of new information to clarify the denied submittal and the applicant or an authorized representative shall appear before the ARC to discuss the application and answer any questions the ARC may have. The Applicant also has the right to tender a written appeal of an ARC disapproval directly to the Board, and be entitled to a hearing before the Board as outlined in the Declaration of Covenants.
8. If the Application is "approved", "disapproved", or "approved as noted" by the ARC, the property owner will be notified in writing by the ARC decision.
9. If the ARC approves an application that constitutes a variance to the design rules established by the ADS, the application must be presented to and approved by the Board of Directors before it will be considered officially approved.
10. Approvals of variances to the ADS shall not be considered precedent-setting changes to the ADS. Each application and property in the community will be reviewed on a case-by-case basis.
11. No construction or removal work may begin prior to ARC approval (and Board approval for variances).

D. ARCHITECTURAL REQUIREMENTS:

1. SETBACKS AND LOT COVERAGE:

1. See Exhibits for a lot diagram explaining the various yard nomenclatures and lot coverage percentage calculation method.
2. See Exhibits 4 & 5 for a table of setbacks minimums and lot coverage maximums.
3. See "Definitions" for how to determine actual "lot coverage."
4. See Exhibit 4 showing how to determine lot coverage percentage for proposed addition and/or porch enclosure Applications and the tabular form in which to calculate and submit lot coverage proof.
5. Mounting of any appurtenance (satellite dish, flag pole, TV, artwork, planter, etc.) to the outside of a zero-lot-line wall or to the roof overhang along a zero-lot-line wall, is prohibited because it would encroach over and into the neighbor's side yard. (Only exception is for Kitchen Hood Vents see NUMBER 47)

2. IMPERVIOUS AREA COVERAGE:

1. It is imperative that over time, the Mirabella community does not turn into a completely paved over series of neighborhoods. It should retain a sense of landscaped greenery that has attracted and continues to attract residents to the community. Having the neighborhoods turn into a heavily paved, minimally landscaped environment would not only be aesthetically displeasing but it would hamper the communities' ability to properly drain and it would raise the ambient temperature in and around Mirabella to the discomfort of all residents (the "urban heat island effect").
2. In this regard, each lot will have a certain percentage of "hardscaping" that can be installed. As noted in the Definitions section of these ADS, hardscaping is any material installed on the ground that will not allow for the free and immediate percolation of rain runoff into the ground below. The roofed area, patios, pools, pool decks, and other built features that are of impervious construction or fabrication are additional contributing elements to the overall impervious area of a property.
3. To keep the Mirabella community within reasonable allowances for the amount of paved area permitted, **no more than 80%** of the land bordered by the property lines of each lot may be covered with impervious materials (see Exhibit 7 showing impervious area calculations).
4. Concrete or brick paver bricks are 100% impervious even though it would seem that the sand between the paver units would allow for some percolation of runoff. Tests have shown that not to be true. There are a few types of pavers that do have calculable percolation values but they have noticeable gaps between pavers that are required to be filled in with small stones. These require maintenance to remain functional porous pavement and will not be permitted as a way to pave over more than the impervious area percentage noted.
5. Concrete slabs beneath air conditioning or other equipment will not be counted as impervious area.

3. DRAINAGE (DOWNSPOUTS) & YARD ELEVATION:

1. Existing surface drainage patterns shall not be altered in any way, including installation of hardscaping, landscaping, built construction, or other items (see Exhibits 1 & 2 at back of ADS for diagram of existing drainage patterns) that will redirect or block the existing runoff patterns.
2. It is not permitted to drill or tie any rainwater piping into any existing catch basin.
3. No drainage pipes are permitted to be above ground.
4. Drainage pipes are not allowed to be run underground and then discharge into any lake, drainage pond, or canal, unless approved by Northern Palm Beach County Improvement District (NPBCID).
5. An owner may not elevate any yard area that affects drainage and/or that places any earth or hard surface at or above the slab elevation of neighbor at the ZLL wall.

4. GARAGE AND PARKING:

1. Garages shall be used for parking vehicles indoors and/or for storage.
2. Garages are not permitted to be enclosed wholly or partially to be used as indoor living space, whether the overhead garage door remains in place to disguise the finished interior space or not.
3. It is a City requirement that each Property have one off-street parking space for each bedroom in the house. That means that for a 4-bedroom house with four cars, two cars need to be parked in the garage and two cars need to fit on the driveway. Use of the garage, in this example, for any purpose other than the storage of vehicles would then violate the City requirements and is not acceptable. If the home only had two vehicles, the garage could be used for storage and two cars could be parked on the driveway, although it is preferable that vehicles be garaged.

5. DRIVEWAY, DRIVEWAY WIDENING, SIDEWALKS

1. Most original Mirabella driveways for 2-car, front-load garages were built at 16 feet wide, not including the flare-out to meet the curb and not including the front-load, 3-car courtyard-style model in Sedona (see below).

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2. Existing 2-car, front-load garage driveways may be approved by the ARC to expand to a maximum 18 feet wide on a case-by-case basis. The added width may be all on one side or on both sides of the existing driveway. The expanded width shall stop 3 feet shy of the garage wall to allow for landscaping against the garage wall. The expanded width shall include widening out the flared driveway end at the curb (the flared end will exceed 18 feet). Paver changes for the expansion shall be inconspicuous and not reveal that any widening changes have occurred (i.e. move border pavers over, use new pavers to match existing pavers and pattern, etc.).
3. For side-load garages, driveways may be widened to a maximum 20 feet, either a) 24" on each side (in the approach portion off of the street, including the apron area, and the back-out portion of the driveway may be expanded 24" towards the neighbor), or b) expanded 4' on the inner side of the property, including the apron area. Refer to options shown in Exhibit 15. Alternate expansion considerations may be given by the ARC for atypical, pie-shaped lots.
4. Widened driveway areas for parking an extra vehicle will be reviewed on a case-by-case basis by the ARC but will only be considered for atypical lots that have flared out front yards to allow for extra paving and without altering the quantity or location of all original front yard landscaping and where the extra parking area can be adequately screened from street view by additional landscaping. The existing landscaping in the fronts of houses was placed there on purpose to provide a filtering effect to the architecture of the house and cannot just be removed and replaced with the hardscaping of an expanded driveway. Impervious area calculations shall be prepared to show that the added paving will not place the property over the ADS allowed impervious area.
5. Circular driveways are not permitted because they place too much paved area directly in front of a house and take away needed planting space for retaining the vertical landscaping required in the front yard to filter the architecture and to comply with the city approvals of the development.
6. On properties having side-load garages, no driveway paving is permitted between the front of the garage and the front property line.
7. On the courtyard-style model in Sedona, the original developer provided a 3-car width driveway from the street to the house. That is the only permitted 3-car width driveway condition permitted in Mirabella.
8. Sealing of paver driveways is permitted. Painting or staining of paver driveways is not permitted.
9. Sidewalks to connect a driveway or front yard area with a back yard area shall be permitted under the following conditions and restrictions:
 - a. Sidewalks in narrow, side yards less than 10 feet wide may only be built out of a single row of individual stepping stones (2' x 2' square concrete blocks) having grass spaces between the blocks (minimum 6" preferable) so as to not alter the available drainage in the side yard. Blocks shall not extend forward of the front corner of the house unless they will remain concealed from street view.
 - b. Sidewalks of a maximum 3 feet wide may be constructed out of interlocking concrete pavers to match the driveway pavers if the non-zero side yard is wider than 10 feet (See Exhibit 32). Gutters are required on the side of the home where the proposed walkway is going to be located. A paver sidewalk may extend past the front corner of the house and tie into the driveway. Pavers placed in a front yard to make the connection to the driveway may require screening from street view by landscaping.

6. MAILBOXES:

1. Refer to Exhibit 33 for the current acceptable mailbox (design and post) in Mirabella.
2. Mailboxes may be obtained from Beautiful Mailbox Company at www.beautifulmailbox.com or 800-856-6983. If an owner wishes to purchase a replacement mailbox from a different vendor, submittal and approval of the alternate mailbox style, construction, style, and color will require submittal and approval by the HOA Property Management staff and/or the ARC.
3. Color shall be "Quaker bronze."
4. Posts shall be 3" decorative round.
5. Box, post, and address bracket shall be fabricated from aluminum. All fasteners connecting the post to the box and the flag to the box shall be non-corrosive (aluminum or stainless steel).
6. Bury post in concrete. Keep top of concrete 6" below top of grass.
7. Replacement mailboxes shall be installed in same location and height as the one being removed.
8. Planting around the base of mailbox posts or climbing up those posts and/or planting to engulf the mailbox is not permitted.

7. BASKETBALL GOALS / PORTABLE SPORTS EQUIPMENT:

1. Permanently installed basketball support poles and goals in the ground or mounted to the house are not permitted.
2. Portable basketball stands are permitted when positioned and operated under Mirabella Rules and Regulations published and periodically updated by the HOA.
3. Portable Sports Equipment (excluding Basketball hoops) is not permitted to be left in the yard when not in use, if that portion of the yard is visible from the street.

8. HOUSE NUMBERS & SIGNS:

1. House numbers & signs must be legible, tasteful and of reasonable size and require ARC approval. Numbers shall be a maximum of 6" high and of black, bronze, brass, chrome, or white colors (matte finish and not shiny).

9. LAWN HOUSE NUMBERS & OTHER SIGNS IN LANDSCAPING:

1. Placement of house numbers or other informational signs (alarm company signs, etc.) in the front yards of houses is not permitted.

10. DOCKS INTO LAKES:

1. No permanent or temporary docks may be placed on land or into any lakes by a resident.

11. STORAGE OF BOATS, TRAILERS, RECREATIONAL VEHICLES (JET SKIS, MOTORBIKES)

1. These items must be stored out of sight inside the garage or outside of Mirabella. These items cannot be stored outside a house on any property at any time.
2. Boats, trailers, or RV's shall not be parked in the roadways even when they are only in front of a residence for a short period of time because their size hinders safe traffic flow.

12. ROAD EDGE MARKERS:

1. Installation of concrete pyramid or dome forms in the grass to demarcate roadway edges at curves or elsewhere are prohibited.

13. PATIO:

1. Patios may be permitted in the back yard and in side yards when they meet the other requirements set forth in these ADS and the addition of the hardscaped patio does not exceed the overall property's allowable impervious area requirement (see the "Impervious Area" section of these ADS).
2. Patios shall be built of concrete, concrete pavers, brick pavers, stone pavers, or tile. Patios shall not be constructed of wood, artificial wood decking, loose stones, gravel, or asphalt.
3. Patios shall be held away from all property lines by the distance set forth in the "Setbacks" section of these ADS and/or any relevant Exhibits.
4. Rear yard patios that extend to the rear property line along lakes in Isle Verde shall have low hedges installed on the lake easement side of the rear property line to help buffer the view of the patio from across the lake. See Exhibit 18 for the hedge requirement and the allowable hedge openings.

14. SCREENED ENCLOSURES:

1. See Exhibits 12, 13 and 23 for drawings and information showing the screened enclosure standards.
2. The aluminum color shall be dark bronze, for retractable and non-retractable screens. No other colors are permitted.
3. Screening color shall be bronze and no other color. No translucent screen panels or solid aluminum or other solid types of fabric or materials shall be used as screen panels.
4. The enclosure shall have a sloped, mansard roof to transition from the screen walls or edge of roof to the flat roof of the enclosure. The sloped roof's pitch shall match the pitch of the house roof.
5. The vertical wall height of the enclosure shall be level with the fascia board of the house roof.
6. Screen enclosures shall be limited to one-story except for the Sedona courtyard style house (see Exhibit 13 for the enclosure standards for the courtyard house).
7. Refer to Exhibit 23 for proper Screen Enclosure installation for the El Prado model, where the pitched screen roof is on the opposite side of the existing covered patio section.
8. Landscape around the perimeter base and at the vertical corners of the enclosure per the Screened Enclosure Exhibit 12. See the "Landscaping" section of these ADS for plant species that are acceptable.
9. No hedge will be required on the outside of the enclosure if a hedged fence is parallel to and within 10 feet of the enclosure. The ARC shall determine whether the surrounding hedged fence provides adequate concealment of the lower portion of the enclosure from multiple vantage points to waive the standard hedge requirement for screened enclosures.
10. Kick plate height on screening shall be 12".
11. For roll-down screens, the roll-down box should be mounted beneath the porch beams and be painted or finished to match the house color. Alternative placement locations are on the inside face of the porch beam (preferred) or on the outside face of the porch beam. Any exposed, vertical tracks for the roll-down screens shall also be finished to match the adjacent, surrounding color of the house.

15. **FENCING:**

1. Aluminum picket fencing with a flat-top rail and no protrusions above the rail is the only acceptable type of fencing permitted in Mirabella. Wood, vinyl, chain link or other types of fencing, whether open or solid, are not permitted.
2. Fence height shall be 4 feet unless the City or other governmental agency having jurisdiction requires a taller fence in the future where it encloses a pool.
3. Aluminum color shall be dark bronze, only.
4. See Exhibit 14 about fencing and landscaped screening.
5. Any screened mesh at fences should be covered with proper hedge material.
6. The concept for fencing in the community is that fences are allowed but should not be seen. Hedges are required to be planted where noted below at all fences exposed to view from the outside.
7. Fence placement rules:
 - a. Fences on side property lines and on rear property lines where abutting another property and not a lake **may be installed on the owner's side of the property line**. A hedge is required to be planted on the owner's side of the fence(s) and permitted to grow through the fence to conceal the existence of the fence.
 - b. Fences along rear property lines at lakes may be placed on the rear property line. A hedge is required to be planted on the outside of the fence and maintained by the owner (see Exhibit 14).
 - c. Fences along Drainage Easement and Lake Access easements shall be held in 2 feet from the easement lines so as to not reduce the designed width of the useable easement, unless permitted by an ARC variance to be placed elsewhere. Fences are not permitted to cross over or into these easements. These locations in the community are the following:
 - i. Isle Verde: Between lots 67 and 68, 78 and 125, 104 and 105, 95 and 96, and between 82 and 83.
 - ii. Condado: Between lots 16 and 17, 29 and 30, 31 and 32, 122 and 123, 104 and 159, and between 113 and 114.
 - iii. Sedona: Between lots 34 and 35, 195 and 196, 122 and 123, 152 and 153, 164 and 165, and between 180 and 181
 - d. Fences along properties abutting Hood Road may be placed on the rear property line and no hedge is required to be planted on the outside because of the existence of the Hood Road landscaping buffer. Side yard fences for these properties are not permitted to extend north of the rear property line to connect to the existing 6 feet high community boundary fence.
 - e. Fences along properties abutting the perimeter wall encircling Mirabella on the west, south, and east may extend side yard fences to the wall.
 - f. Fences in non-zero side yards are permitted but must be held back a minimum 10 feet from the front corner of the house.
 - g. See section 4.12 of the Covenants that requires owners to allow maintenance access to the zero-lot line wall of the neighbor, through the non-zero side yard of the owner.
 - h. Rear yard fences that are parallel to the Jog Road wall, shall not require a hedge along the rear fence line.
8. No fences are permitted in front yards. Fences in the side yard of corner lots are permitted to be installed 2 feet **back from the owner's side of the utility easement and a hedge planted on the outside**. The side yard fences are permitted to extend toward the front yard but must be back at least 10 feet from the front corner of the house and parallel with the front wall of the house and not further into the front yard area (see Exhibit 14)
9. No setback is required on the (Sedona) Courtyard model front side of the home, because of the side door into Guest House (see Exhibit 24)
10. Hedges are required to be planted at all fences unless the fence is not visible by a neighbor, from a nearby street, or across a lake. **Plants at the time of planting shall be spaced a maximum of 24" apart and be 24" high**. See the "Landscaping" section of these ADS for plant species that are acceptable. Hedges at fences shall be maintained at a height no lower than the top of the fence with the exception that hedges at fences along lakes may be maintained at 24" high.
11. **Fence gate widths shall be limited to a single gate no wider than 3'-6" (42 inches)**. Multiple gates are permitted in one yard to access the yard from different locations (front, rear, side where applicable). One gate only is required out of the rear lot line fence when along a lake. No rear lot line fence gates are permitted when against any perimeter buffer areas. Double gates to allow for a fence opening wider than 3'-6" are not allowed.
12. **An owner's fence is not permitted to be physically attached to a neighbor's wall.**
13. **No pet mesh is permitted on front entry gate.**
14. See #46 regarding fences and Utility Easements.
15. Due to the nature of the 'Z' lot lines in side yards of Isle Verde, side yard fences may cross property lines to extend from one home to the neighbor's home in order to provide side yard privacy and security for both neighbors. Gates in such side yard fences shall be positioned in the middle of the fence between two homes.

16. ART, SCULPTURE, YARD STATUARY, FOUNTAINS, AND OTHER PERSONAL PROPERTY:

1. The personal expression of an owner's taste in art, sculpture, and yard statuary (ornaments) should remain the owner's personal taste and not be broadcast to the community by putting such items on public display.
2. Installation and display of these elements is permitted if placed in a location(s) that is not viewed from outside the owner's property.
3. **Decorative, recirculating fountains shall be treated the same as "sculpture" and will be allowed only if visible by the resident and not from outside the property.** Fountains come in hundreds of design styles, shapes, and sizes and take on their own personality very much the same as sculpture and statuary and therefore should not be placed out in the open for the enjoyment or displeasure of others.

17. POTS FOR PLANTING AND/OR DECORATION IN FRONT YARDS

1. Pots may be of any geometric shape and a minimum size of 12 inches x 12 inches to a maximum size of 24 inches x 24 inches. Maximum height of pots on the ground/paving shall be 48 inches. Maximum height of pots on low walls shall be 24 inches. A maximum of 4 pots are permitted per front yard. Pots must be on paved surfaces and shall not outline or block access to a driveway.
2. General considerations for all pots and urns:
 - a. Pots shall contain live, healthy plants or no plants at all. Dying or dead plants are not acceptable and should be replaced or completely removed. Artificial plants are not allowed.
 - b. Pots may be constructed of ceramic, terracotta, clay, artificial materials (plastics, fiberglass, cast stone), or of copper, brass, or bronze. Use of artificial materials is acceptable only if the pots look and retain the look of real clay or stone materials.
 - c. Pots shall be maintained in a clean, mold-free condition. Pots that become permanently stained, discolored, or faded (most notably with plastic pots) shall be replaced. Pots that are cracked, broken, or have large, noticeable chips in them should be replaced.
 - d. Removal of in-ground plantings in front of the walls on each side of the garage door in the communities required by the City's approved landscaping plans to have such and replacement with paving and/or pots containing plants is not allowed. The in-ground plantings must remain if they were shown on the approved landscaping plans.
 - e. **Pots that are visible from a street view, may only be placed on hard, paved surfaces ("hard surfaces" does not include rocks or stepping stones).** Pots are not permitted on unpaved surfaces (dirt, grass, or mulch).

18. TRELLIS, PERGOLA, GAZEBO, CABANA BUILDING, GREENHOUSES, PLAYHOUSES:

1. Installation of these types of structures, whether freestanding or attached to the house, are not allowed, except in certain courtyard-style house designs where these elements would be located on the interior of the courtyard where only the resident can see these elements.
2. If any of these elements are installed in a courtyard-style home and they can be seen from outside the property, they will not be permitted.
3. Trellises and gazebos are not permitted in the rear or side lots on lake properties.
4. **Children's playhouses no larger than 6' x 6' x 5' tall will be permitted.** The playhouse must be screened with landscaping to hide its view from outside the property. The playhouse must be constructed of durable, painted, well maintained materials and not have the appearance of bare lumber that has been left outside and unprotected for too long. The colors used on the playhouse must be muted to that of the mild intensity of color used on the houses within the community. The playhouse must be securely anchored to the ground with tie-down screw anchors to prevent it from becoming a projectile through the neighborhood during a hurricane. It may be installed in the backyard only, positioned a minimum of 5 feet off of all property lines, and landscaped around all sides necessary to completely hide it from view outside the property. Landscaping installed at the time of installation must be the height and density necessary to hide view of the playhouse.

19. SWING SETS, PLAY STRUCTURES, TRAMPOLINES:

1. A Swing Set consists of triangular-shaped structural ends supporting a top beam that has chain or rope hanging down to a seat at the bottom. A Play Structure is a multi-functional play product that provides children with climbing, sliding, hanging, and play on different platforms and devices.
2. These items are permitted to be placed on a property under the following conditions:
 - a. Located behind the rear of the house, except for corner lots and pie shaped cul-de-sac lots. Permissible, with a 20' front setback, in side yards of corner lots and pie shaped lots when screened from street-view.
 - b. Placed no less than 5 feet from any property line.
 - c. Sufficiently landscaped to block views of the equipment from outside the property
3. Play structures must be:
 - a. Of a tasteful design and appropriately scaled to the yard space and house and to not overwhelm the back yard or the house.

- b. No taller than 8 feet to the top of the structure or 11 feet to the top of a neutral-colored canopy.
 - c. Constructed of materials that will not become a maintenance and compliance problem (no steel constructed sets are allowed).
 - d. Of muted colors that do not stand out apart from the house and communities color tones.
 - e. Securely anchored into the ground in compliance with current building codes so that the unit does not become a hurricane projectile.
4. Trampolines, whether left up permanently or taken down and stored out of sight, must be screened with landscaping to prevent views of any part of the trampoline from outside views.

20. FLAGS, BANNERS, FABRIC GRAPHICS:

1. A portable and removable, United States flag or the State of Florida flag and a branch of the military or a POW-MIA flag are permitted to be flown (maximum of two flags flown simultaneously). The maximum size for each flag shall not exceed 4 1/2 feet by 6 feet.
2. Other types of flags, banners, or decorative fabric graphics or artwork may not be displayed on a pole or otherwise mounted to the building, where they will be visible from outside the property.
3. The flag must be displayed in a respectful manner, consistent with Title 36 U.S.C. chapter 10 and Florida Statute 720.304.
4. Flags may be flown from a bracket-mounted pole and should be mounted on the wall between the top of the garage door and the roof overhang. See Exhibits 9, 10, & 11 for examples of installation locations. All house model types in the three Mirabella communities must comply with the flag placement rules graphically shown in Exhibits 9, 10, & 11 even if a particular model type is not shown. Freestanding flag poles are permitted when installed out of easements, on an owner's property, and in compliance with the flag laws noted in #3 above and the City of Palm Beach Gardens. Maximum flag pole height shall not exceed 25 feet.

21. SHEDS & CAGES:

1. Freestanding sheds or other freestanding utility buildings are not allowed.
2. Any outdoor cages for housing of animals or pets is not permitted.

22. MAINTENANCE OF HOMES AND LOTS:

1. Refer to section 6 of the Covenants.
2. Refer to section 4.12 (b) for "Special Maintenance Easements" in the Covenants pertaining to zero lot line roof overhangs, gutters, and painting and for not constructing anything permanent in that maintenance easement that would prevent the neighbor from properly maintaining the zero-lot line wall and roof.

23. GARDEN HOSES:

1. Gardens hoses should be neatly stored or kept out of sight from the street.
2. Hose reels, hooks, and other permanent hose supporting and storage brackets and devices shall be placed to be the least conspicuous when viewed from the street and when hoses are neatly stored on the devices.

24. WATER FILTRATION EQUIPMENT AND MECHANICAL EQUIPMENT OTHER THAN AIR CONDITIONERS, POOL EQUIPMENT, AND GENERATORS:

1. If an owner wants to install a water filtration system for the drinking water in the house or install some other type of mechanical equipment not mentioned here, the equipment may not be installed on the outside of the house if it will be visible from outside the property.
2. This type of equipment shall be installed either completely out of sight or inside the house or garage.

25. OUTDOOR "SUMMER" KITCHENS AND PERMANENT BARBEQUE COOKING AREAS:

1. Outdoor kitchens consisting of a permanently installed counter area with built-in barbeque grille, sink, storage cabinets, refrigerator, eating counter, etc., are permitted with the following design considerations:
 - a. Overall size and location on the property is appropriately scaled to that of the house and yard so that it is an attractive added feature to the property and not an overwhelming blemish.
 - b. If it will be roofed, that will need to blend with and be of the same construction as the house roof so that it looks like it was a part of the original house construction.
 - c. Installation of any exhaust fan will not cause a visual, aromatic, or noise distraction to the neighbors or to the house (i.e., a large, commercial-sized, silver colored, metal exhaust fan cap poking through the roof on the rear of the house, visible and heard by all of the houses across the lake from the fan).
 - d. May not be built directly up against the neighbor's zero lot line house wall as that would prevent the neighbor from easily accessing that wall for maintenance purposes.

26. PERMANENT BACKUP GENERATORS:

1. Backup generators shall be permitted to be installed on a property where they meet all of the City ordinances and building codes.
2. Maximum generator size shall be 45 KW. Generators larger than that size are simply too large to try and screen from view and a KW capacity larger than this size should also not be necessary for the Mirabella houses.
3. Unit shall be positioned to be hidden from view by landscaping from outside the property. Generators will not be permitted in the front yard. They shall also be positioned so that they are the furthest distance away, possible, from a neighbor's window and a neighbor's ZLL wall.
4. Generators may only be run for the manufacturer's required weekly "exercise" period of time (12-15 minutes) and during a power outage. The "exercise" running period shall be restricted to 10 AM through 4 PM, Monday through Saturday.
5. Portable generators, that are not require permanent sitting on the property or any other exterior changes to the property are considered like furniture and do not require ARC approval. The use of a portable generator shall comply with the running times permitted for permanent generators.

27. DECORATIVE, SECURITY & LANDSCAPING LIGHTING:

1. Installation of all types of exterior lighting (building and/or ground mounted) requires ARC approval.
2. Post lights (light fixture mounted on the top of 6 feet +/- high pole) in the front yard near the street and/or driveway are not permitted.
3. New, additional building mounted light fixtures should match existing exterior light fixtures.
4. "Stick" mounted light fixtures (whether electrically or solar powered) placed along edges of driveways or sidewalks are only permitted when hidden from view to the street and neighbors by landscaping or building walls. No application is required for solar lights because they are an energy saving device which can be used and installed wherever desired. If an owner requests approval for such, staff and/or committee will urge that the fixtures be placed as inconspicuously as possible in the yard.
5. Flood light fixtures mounted to walls, soffits, or fascia trim shall be limited to a maximum 150 W lamp. Floodlights shall be installed so illumination is directed away from neighbor's properties, streets, or common property. Floodlights should be installed for the benefit of illuminating the owner's property and not other properties.
6. Light fixtures installed in the ground for up-lighting landscaping features are acceptable. Fixtures and all conduit and other items attached to the fixture shall be dark bronze or black, only. Fixtures shall be placed appropriately and to provide an attractive illumination of the landscaping and not a flooded appearance of illumination on all of the landscaping and the building. Fixtures should be placed to be the least conspicuous possible when viewed from outside the property (hidden from view by the landscaping). They should also be firmly anchored in the ground so that they do not become neighborhood projectiles during a hurricane. Illumination shall be aimed up onto the landscaping and not onto a neighbor's property. Fixtures that cause annoying illumination onto a neighbor's property will not be permitted to remain.
7. Installation of "rope lighting" or other linear forms of lighting to outline architectural features of the house or landscaping are not permitted, except as holiday lighting.
8. Holiday lights to celebrate Christmas, or similar holiday, may be installed commencing on Thanksgiving and shall be removed not later than January 10th of the following year. Holders for holiday lights that are installed on a home must be removed at the time that the lights are removed. Holiday displays (i.e. Halloween, Easter) other than those defined above may be installed no earlier than two (2) weeks prior to the holiday and must be removed within seven (7) days after the holiday.
9. Incandescent, fluorescent, or mercury vapor lamps of a white color are acceptable. Use of colored lamps, sodium vapor lamps, or other non-white lamps is not permitted.
10. Wall mounted coach light replacements at the garage door shall be applied for to the ARC. The fixtures shall comply with the following criteria: a) Be of a tasteful design that is contextual and compliments the house design
b) Should be between 22-28" tall and approx. 6" wide, 3) Should not be offensively bright when viewed from the street.
c) coach lights are to be selected from the approval list (see exhibit V2) for one-story and two-story homes. Lights other than those on the list will not be approved by the Architectural Review Committee.
11. Owners may refinish existing wall mounted coach lights with paint products that are suitable, will adhere, appear professionally done, with white, brown, bronze or black paint.

28. FRONT DOOR INTO HOUSE:

1. Front door changes shall be submitted for ARC approval.
2. Doors may be of a different design than that installed in the original house.
3. Doors may have glass inserts.
4. Doors may be of any material selected by the owner.
5. Doors may be painted to match the house or trim color, stained a dark, natural wood color, painted a color that closely represents a dark, natural wood stain color (tan, brown), or be faux finished a dark color to closely

represent a grained, wood door.

6. Doors may not be stained or painted any bright or primary colors (red, yellow, green, etc.) or black.
7. Glass inserts for front doors on Courtyard Models (Sedona) should be frosted or etched, non-see-thru glass doors. Minimal reflectivity of low e-glass is permitted for glass in doors and/or windows on side of home.

29. FRONT ENTRY WAY TRIM WORK AND PORCHES:

1. Front entry porches into houses shall remain open to the front or side of the house, depending on the unit's design.
2. Front porches are not permitted to be screened in, have iron or aluminum decorative or security gates installed, or enclosed with other permanent construction such as walls and doors.
3. Additional trim work at the second-floor window above the front door (on Courtyard models only) is permitted since it was portrayed in the original Kenco model renderings. See Exhibit 31 to view the design.

30. FRONT ENTRY COURTYARD GATE (certain house models with low wall enclosed, front courtyards, only, that are out in front of the covered front entry porch to the house and are not covered by a roof)

1. A decorative, aluminum, metal gate may be installed at the existing opening between the courtyard walls.
2. The gate design shall be aesthetically appropriate. The gate shall have a completely open appearance with no solid panels.
3. Maximum gate height from the sidewalk shall not exceed 6 feet.
4. All metal components of gate fabrication and installation hardware shall be corrosion resistant.
5. Gate color shall be dark bronze.

31. AWNINGS:

1. Awnings are permitted:
 - a. On the rear of houses.
 - b. Interior courtyard of houses where the awning can only be seen by the resident.
 - c. On the non-zero side of a house where it is not visible by the neighbor, from the street or from the lake.
2. Awnings must be the fabric-covered, retractable or permanent style.
3. Awning fabric and trim, apron, or valence shall be of a solid color that very closely matches the house wall color. Fabric with a striped or other pattern style is not acceptable.
4. Awnings may be attached to the house wall or the fascia trim along the edge of the roof. Awnings may not be attached to or installed higher than the top of the fascia trim.

32. SECURITY CAMERAS:

1. Installation of security cameras will require ARC approval.
2. Cameras are for the benefit of the owner to have surveillance of his property and should not be positioned or aimed to provide surveillance of neighbor's property, into neighbor's windows, or of common property.
3. Violations of these privacy issues will be grounds for the HOA to require removal of the owner's camera system.

33. GUTTERS, DOWNSPOUTS, & BUBBLERS:

1. Aluminum gutters and downspouts are permitted to be installed on houses and may be reviewed and approved by the HOA Management staff and do not have to wait for an ARC meeting to be approved. Color shall match the house fascia color as closely as possible. The gutter color along screen enclosure shall be bronze.
2. Downspouts shall deposit water onto concrete or plastic splash blocks to avoid causing erosion.
3. Owners are responsible for directing downspout runoff away from neighbor's property and to avoid causing yard flooding. Side yard positioned downspouts shall be located at the front and rear corners of the side of the house and those downspouts turned to deposit their runoff toward the front and rear of the property, respectively. Avoid depositing roof runoff from gutters into narrow side yards.
4. For the rear downspouts of lake properties, there are two installation options: 1) A bubbler system is required if installing underground pipes off of the downspout(s) to the rear property line. See Bubbler System Exhibit 25, or, 2) Install splash block off of the downspout(s) so that the water can surface flow evenly onto the back yard. See "Drainage" section of the ADS for prohibition on connecting downspouts by underground or above ground piping into catch basins or lakes.

34. SKYLIGHTS AND SOLAR TUBES:

1. Installation of skylights (1 ft. x 2 ft. and larger) are not allowed on any street facing roof slope.
2. Skylights are permitted to be installed on rear facing roof slopes and side facing roof slopes where the side is not at a street.
3. Installation of "solar tubes" is permitted on any roof surface.

35. ENERGY CONSERVING DEVICES:

1. By State Statute, the use of “energy conserving” devices must be allowed. This would include solar collectors, clothes lines, and other energy conserving devices.
2. In order for the community to retain a unified, organized appearance, it is requested that all solar collectors be installed on side or rear roof slopes and not on roof slopes facing the street.
3. The use of clothes lines for drying clothes cannot be prohibited, however, it will be a requirement that additional landscaping may be required in order to screen the outside view of hanging clothes.

36. TOP OF ROOF MOUNTED ELEMENTS:

1. The attaching of top-of-roof equipment or devices shall not be permitted (weather vanes, finials, antenna, etc.).
2. Attachment of lightening rods to a roof at any location is permitted.

37. WINDOW TINTING (GLASS OR APPLIED FILM):

1. Standard grey or bronze tinted glass or film is permitted. Installation of any other product(s) shall be submitted to the ARC for review.

38. THROUGH-WALL, THROUGH-WINDOW, OR THROUGH-ROOF AIR CONDITIONING UNITS:

1. Installation of such permanent units is not permitted.
2. Temporary installation of through-window air conditioning units will only be allowed right after a hurricane if the power goes out. The unit must be removed from the window as soon as the power comes back on.

39. SATELLITE DISHES:

1. Satellite dish receiving devices shall be no larger than 33.97 inches.
2. It is understood that section 207 of the Telecommunications Act of 1996 established that the FCC required persons to be able to receive telecommunications signals by the installation of such receiving dishes and that no undo hardship, approvals, or restrictions could be reasonably imposed on owners wishing to install such dishes.
3. For the aesthetic enjoyment of all Mirabella residents, owners are respectfully asked to install dishes in the least conspicuous location on their house that is possible. **The FCC ruling prohibits restrictions that “unreasonably increase the cost of installation, maintenance, or use.”** If the signal strength is sufficient on a different part of the house that is not the front wall or roof, it is not considered an “unreasonable cost” to then install the dish in that alternate location.
4. Dishes shall not be placed or mounted onto any roof surface.
5. See Section D.1 “Setbacks and Lot Coverage” regarding zero-lot-line placement of dishes.

40. HURRICANE PROTECTIVE DEVICES (SHUTTERS, IMPACT GLASS, ETC.)

1. Installation of exterior, surface mounted hurricane shutters or the replacement of the existing doors and windows with impact rated units constitutes an “exterior change” to the house and requires ARC approval. The method for providing hurricane protection is the sole choice of each owner. There are a multitude of hurricane protection solutions on the market and the ARC will not dictate to any owner, which device(s) will provide the best protection, be the easiest to install, open, close, or be the most cost efficient. **The ARC’s duty is to seek and maintain aesthetic control within the community.** The goal of these ADS is to request that owners seek out a hurricane protection solution that will do the least harm to the existing architecture of their house and the community. New residents, owning for less than 6 months, who are applying for hurricane protection devices may submit their application via email (in-between meetings) on a case-by-case basis, if during Hurricane Season.
2. For Hurricane Shutter installations:
 - a. For arched top window and door openings, select a hurricane protection method that tries to respect the arched top and does not place a bold, horizontal box, track, or bar directly above the arches. New accordion shutter installations will be permitted at arched openings where the top track is placed a minimum of 2 inches above the arched opening or just above the arched trim (if the opening is trimmed). Where the top of arched opening(s) is close to the underside of the roof overhang, top tracks should be placed up underneath the roof overhang rather than directly on top of the arch.
 - b. For rectangular windows that have decorative, arched trim above the top, the top track of the shutter shall either be installed directly over the top of the window unit (underneath the arched trim) or the bottom of the top track shall be installed 2” above the top of the arched trim. See Exhibit 17.
 - c. At window openings that have decorative, plastic, Colonial louvered shutters each side of the window opening, it is suggested to consider replacing the decorative plastic shutters with real Colonial hurricane shutters. If accordion shutters are to be installed at these openings, then the decorative Colonial shutters are required to be shifted over slightly in order to fit the accordion stack directly next to the window opening. The decorative Colonial shutters cannot be completely removed from the wall.

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- d. Due to garage gutter position at the arch-top *front window* in the Rosello Model, it is acceptable for the accordion shutter track to sit on the trim, each side of the window, instead of outside the trim.
 - e. Roll-down shutters are not permitted over arched top openings unless the shutter box can be mounted up under the roof overhang to become inconspicuous. Roll-down shutters are not permitted over openings in gable walls because there is no place to conceal the shutter box and its presence will negatively affect the architecture.
 - f. See Exhibit 17 for photos showing acceptable and unacceptable installations at arch topped windows.
 - g. For removable shutters over arched top openings, it is recommended to have the shutters cut to the shape of the arch. Use of a thin, non-obtrusive shutter track (maximum 4 inches out from the wall) may remain in place for hurricane season only (June through November) if it is painted to match the color of the material it is placed on. If the shutter track is installed horizontally over the arched top, then it will need to be removed until the shutters are allowed to be put up as defined by the Mirabella Rules and Regulations. Large and thick, or vertical shutter tracks are only allowed to be installed when the shutters are allowed to be put up.
 - h. Installing shutter tracks on the outside of a covered screened in patio, is acceptable on a case-by-case basis.
 - i. The color for permanent shutters (accordions, roll-downs, and other non-removable types) shall closely match either the house body color or the house trim color. The ARC understands that when house colors are changed during repainting of a house, the existing shutters may not match the new house color because accordion shutters cannot be painted.
 - j. Roll-down shutter boxes (typically located at the front entry way or rear covered patio) must be painted to match the house color and when an owner changes a house color, the roll-down shutter box and vertical tracks then need to be repainted to match the new house color.
 - k. The "Rules and Regulations" and/or the Covenants for Mirabella will establish when hurricane shutters may be closed and when they need to be removed/opened up.
3. For Glass Block replacement installations:
- a. Glass Block windows can be replaced with alternative glass block windows shown in Exhibit 27, on windows that are not visible from the street. For windows visible from the street, the original Essex glass block style must be used.
 - b. Glass Block windows can be replaced with non-fire rated privacy impact windows on zero lot line, without a distance stipulation between the homes, subject to permitting and all the required Palm Beach Gardens City building codes.
4. For Impact Window replacement installations:
- a. When the chosen hurricane protection method is to replace the existing standard windows and doors with impact rated windows and doors, the window frames and sash widths will be compared with windows that have already been approved. All windows shall have muntins, or No windows shall have muntins, or all windows and all parts of windows (arch-top transom windows over top of rectangular windows) on a single building elevation shall have muntins or no muntins or no windows shall have muntins. In other words, if there are 6 windows on a side elevation, 4 of them cannot have muntins when 2 of them do not. It is all or nothing on a single elevation. Refer to Exhibits #A1-V1 for the acceptable impact window designs at front elevation for each model. Should an owner request muntins on new replacement windows, the muntins must be on all windows seen from street view.
 - b. Minimal reflectivity of low e-glass is permitted.
 - c. All changes to the design or function of a door or window, must be pointed out in the Application for approval.
 - d. An owner wanting to install any type of windows that are not all-aluminum framed and of designs that match existing windows, will be required to submit detailed, dimensioned drawings showing the sash and rail sizes of the non-aluminum window and of the existing aluminum windows, to prove that the alternative windows will look exactly like the existing aluminum windows in both size, components, and finish or to match the frame size noted above. ARC approval is required to validate that the replacement units will match the existing units or that the changes proposed to some existing units are acceptable.
 - e. Horizontal Roller windows (opening side-to-side, instead of up and down) are permitted.
 - f. All windows seen from street view must all match and be replaced at the same time.

41. PAINTING & HOUSE COLORS:

- 1. Owners must maintain painted finishes on house walls and trim as necessary to not show deterioration, mildew, molted appearance, blistering, peeling, flaking, or chalking.
- 2. The original house paint colors, roof tile colors, and driveway paver colors was all carefully selected and approved by the City as a part of the Mirabella's original development approval. Changes in house and trim colors are permitted under the conditions outlined below.

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3. Repainting where it will match the original colors still requires an ARC submittal to verify that the proposed repainting colors do indeed match the existing colors. However, repainting with the same colors can be reviewed and approved by the HOA staff for matching verification and approval will not have to wait for an ARC meeting.
4. An owner who repaints with a color that does not match the existing colors and/or where the applied paint does not match the ARC approved colors will be required to repaint with colors that match the approved colors.
5. No 2 houses next to each other may be painted the same colors unless they already are of the same colors.
6. A change in house and trim colors shall be permitted under the following conditions:
 - a. A change in colors for a property must match the color palettes used in Mirabella. The color "palette" shall mean the overall color tone achieved by the blended appearance of the driveway pavers, house walls, house trim, and roof tile. The approved community house paint colors may be obtained from the Mirabella HOA office and application may be approved by the HOA Management staff (preceding verification that the neighboring house colors are different from the proposed color being selected) and will not have to wait for an ARC meeting to be approved.
 - b. New house paint colors shall take into consideration the colors of the existing driveway pavers and roof tile to maintain a harmonious blending of color with similar tints (i.e., if the driveway and roof are of cool colors then proposing to change the house colors to warm colors may not be compatible or acceptable).
 - c. New colors for house and trim shall not match the existing colors of houses on either side of the subject house and shall be of sufficient contrast to be noticeably different than the adjacent houses.
 - d. A request to change the house and trim colors must be submitted to the ARC. An owner will be required to provide the paint manufacturer name, color names and/or color numbers. If colors requested are from a paint brand that differs from the approved Mirabella paint colors, samples of the different colors and brand shall be submitted for review. The substitute colors shall match the approved colors.
7. Painting of zero lot line walls concerns each neighbor affected and should be done so with care and concern for the neighbor. See Exhibit 22 for a set of suggested rules for an owner and painter to agree upon. This form should be signed by both parties and is a part of the painting application submittal requirements.
8. Garage doors can be painted to match either the house body color, the house trim color, or a faux wood grain color (with ARC application) using one of the preapproved sample colors from Exhibit 8. Garage doors that are painted using the faux wood grain technique must have horizontal lines and fine, tight graining (as shown on Exhibit 8).

42. ROOFING:

1. Amended January 2023 – refer to page 19A of the Architectural Design Standards Manual.
2. No other types of roofing (clay tile, metal panels or shingles, asphalt shingles, cedar, slate, composite materials, rubber) are permitted.
3. Painting of concrete tile roofs is not permitted.
4. Drip edge metal shall be factory-finished galvanized or galvalume. Bare galvanized drip edge is not permitted.
5. For Roof Tile Repairs, when only some tiles need replacement rather than when an entire roof is being replaced, see Exhibit 29.
6. If a resident is replacing 10% or more of section of a single roof slope area than an ARC Application is required to replace that entire section. 10% was determined so that the entire roof slope will match and not look patchy. 10% of a sloped roof replacement will be determined upon photo submittals to the ARC on a case-by-case basis.
7. When replacing 50% or more of the ridge tiles along any individual ridge line, all of the ridge tiles in that line must be replaced.

43. ADDITIONS / PORCH ENCLOSURE:

1. Additions / Porch Enclosures to existing houses shall be designed and built to appear as if they were always a part of the original house design and construction.
2. Colors, textures, and materials for additions shall match that of the existing house.
3. Additions / Porch Enclosures shall align such elements as roof overhangs, fascia boards, walls, and tops of windows with those same elements on the existing house and comply with the City's Design Requirements for Mirabella (Exhibit 3).
4. Adding a second story to all or part of an existing one-story house shall be reviewed by the ARC on a case-by-case basis to decide whether the addition looks appropriate on the house, along the street, and in relationship to houses on either side. As an example, if a proposed second story addition creates an out-of-scale tower sitting on a small percentage of the existing one-story house, this may not be acceptable by the ARC.
5. Additions / Porch Enclosures shall be designed to not exceed the required minimum setbacks and the maximum lot coverage (see other Exhibits defining these items).
6. Additions can be built with Mansard-style roofs where the perimeter of the addition must have a Mansard roof

AMENDED ROOF RULE JANUARY 2023

42. ROOFING:

1. "The ARC shall have the authority approve any replacement roof tile color from the list of pre-approved tile colors, and the ARC shall have the authority to approve a substantially similar color to those in the pre-approved tile colors if the pre-approved color is no longer readily available. The homeowner is responsible for providing proof that the proposed tile is in fact substantially similar in color to the pre-approved tile colors. The ARC shall have the authority to approve concrete barrel tile and concrete flat tiles. The Homeowner must explain in their application to the ARC what their existing tile color and shape is, what their immediate neighbors tile colors and shapes are, what the proposed tile color and shape is, and whether it is a pre-approved color, or a substantially similar color with suitable proof. "No other types of roofing (clay tile, metal panels or shingles, asphalt shingles, cedar, slate, composite materials, rubber) are permitted.

(sloping roof that matches the house roof pitch) that is 4 feet vertical and then the interior of the addition on top of the mansard roof may be flat. (This will provide the ground-level illusion of a design to match the house where the lower total roof height might then allow for second floor windows.)

7. Aluminum roofs and Aluminum room enclosures are not permitted.

44. POOLS:

1. See "Setbacks" section.
2. Above ground pools, except for short-term-use plastic "kiddie" pools set on the ground, are not permitted.
3. In-ground pools shall extend out of the ground no higher than the pool deck that surrounds the pool. Spas built into pools may project out of the ground no higher than 24 inches above the pool deck.
4. The pool wall structure shall be set completely inside of the required setback lines.

45. ABOVE GROUND SPAS:

1. Above ground freestanding spas shall be incorporated into an overall backyard design theme of paving and landscaping. Spa units that just sit in the back-yard grass will not be approved.
2. Spa units shall be placed a minimum 5 feet from all property lines to allow for placement of adequate landscaping screening.
3. Spa units shall be appropriately landscaped so that they are concealed from view from outside the property.
4. Spas shall be no higher than 4 feet above the existing yard elevation.
5. Maximum size of above ground spas shall be 9' x 9'.
6. Above ground spas being placed under a hard-roof, covered patio, do not require ARC approval.

46. UTILITY EASEMENT PLANTINGS AND/OR FENCES:

1. Each property has a 10 ft wide "utility easement" (UE) across the front yard (see Exhibits showing property conditions). It is the front 10 feet of each owner's property from the sidewalk back towards the front of each house. It is where underground utility cables, piping, and wiring from FPL, Comcast, AT&T, and Florida Public Utilities (natural gas) is buried. The UE language in the deed for each owner's property restricts installing anything permanent in the UE. The UE language further states that if and when the respective utility companies need access to the UE, they have the right to tear out anything blocking their unencumbered access to the full 10 feet width of the UE and they are not required to replace or restore anything they remove, damage, or destroy in the process.
2. If an owner wants to place a fence or landscaping in or through the UE, they will be required to contact each of the utility companies who have piping and/or wiring in the UE (FPL, Comcast, AT&T, FPU), submit a copy of their survey showing where and what they want to install in the UE, provide their lot and block number, name and address, and request permission to install their fence and/or landscaping in the easement.
3. The utilities companies are not required to approve such a waiver so they may deny placing anything in the UE. The utilities companies' approval of a waiver for the owner to use the UE, does not mean that the utilities companies have to then replace anything in the UE damaged during their use of the UE. Their legal easement rights still prevail in that they can do what they want with the easement land, including removing fences and landscaping installed in the UE.
4. The ARC will not review an application to place anything in the UE without the owner providing original copies of the waiver letters obtained from all of the required utilities companies.
5. For any digging that takes place in the UE, the owner or contractor is required to call 811 before performing any digging. The "811 service" will then come out to locate and mark where the underground utilities are positioned so that the digging does not damage any of the pipes, wires, or cables buried underground in the UE.

47. KITCHEN HOOD VENTS ON ZERO LOT LINE WALL:

1. The installation of a kitchen vent on the zero-lot line exterior wall of a home is upon approval of the ARC and no objection by the neighbor.
2. The vent is to be painted the same color as the body of the house and there is no exterior motor permitted.

i. EXTERIOR PORTIONS OF HOMES:

1. A lot owner shall use moderation when affixing, attaching, hanging, displaying, or placing anything on the exterior walls, doors, balconies, or windows of their home unless specifically allowed by the ADS, the Covenants, and/or the community's Rules and Regulations.

2. CONSTRUCTION

a. CONSTRUCTION WORK TIMES, RULES, SIGNS:

- i. "Construction" means work done by licensed contractors, vendors, or the homeowner and friends or relatives. It includes construction work done as improvements, repairs, and/or maintenance.

Mirabella Architectural Design Standards

- ii. Refer to the Covenants or the Rules and Regulations of the community for allowable work days and times.
- iii. Owners' must use licensed and insured contractors and vendors for work hired out. Submittal of the contractors' state license, City of Palm Beach Gardens occupational license, and Certificate(s) of Insurance is required at the time the Owner submits an Application for approval to the ARC. See the "Project Submittal Requirements" section of these ADS for required additional insured for each Certificate submitted.
- iv. Storage of construction materials not permitted overnight in streets.
- v. No storage of trash containers in streets.
- vi. Street in front of construction area(s) shall be cleaned by owner or his/her contractor each afternoon prior to leaving the site for the day.
- vii. Portable toilet unit to be used for workers must be screened from view per Exhibit 21.
- viii. Only the small, tasteful, construction sign shown by Exhibit 20 is permitted and it must be installed on the permit box post as shown on the Exhibit. Only the general contractor may be identified on the sign. No other types of signs associated with any construction work are permitted to be displayed for any length of time.

b. PROTECTION AND REPAIR OF NEIGHBORS' AND COMMON PROPERTY:

- i. Owner of a property having work done shall be responsible for the costs of all associated repair work to common property, neighbor's property, and all waterways within Mirabella, when damage to such areas is caused by the owner or the owner's contractor(s)



Mirabella at Mirasol Homeowners Association, Inc. ARC Application Form

Owner's Name: _____ Contractor: _____
 Mirabella Address: _____ Contractor's Phone #: _____
 Email address: _____ Contractor's Email: _____
 Telephone: _____

Applications, in compliance with all ADS submittal requirements, must be received by the HOA 11 days prior to a scheduled ARC meeting

Submittal Deadline Date: ____ / ____ / ____ Next Scheduled ARC Meeting Date: ____ / ____ / ____

If applying for more than one project, circle all projects and submit the fee & deposit with the highest dollar amount to cover all jobs. Deposits will not be refunded until all jobs are completed in compliance.

ABOVE GROUND SPA ADDITION / ENCLOSURE AWNING COACH LIGHTS DRIVEWAY EXPANSION EXTERIOR LIGHTING FENCE FRONT COURTYARD GATE FRONT DOOR REPLACEMENT FRONT DOOR PAINT COLOR: _____ GARAGE DOOR PAINT COLOR: _____ GENERATOR	GUTTERS HOUSE PAINTING: Same / Diff Color Body Color: _____ _____ Trim Color: _____ _____ HURRICANE SHUTTERS HURRICANE SCREENS IMPACT WINDOWS / DOORS: ☐ No window design changes ☐ Window design changes ☐ Aluminum Frame ☐ Vinyl Frame LANDSCAPING	KITCHEN VENT OUTDOOR KITCHEN PATIO PAVERS PAVER WALKWAY PLAY SET POOL ROOFING SATELLITE DISH SCREEN ENCLOSURE SECURITY CAMARA SOLAR PANELS TRAMPOLINE OTHER: _____ _____
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Applicants shall review the "Project Submittal Requirements" contained in the ADS for a complete listing and explanation of the materials required to be submitted for each of the various project types. This Application is not complete and declared "submitted" until the submittal package has been accepted by the ARC/HOA representative. ARC approval is required prior to the Applicant applying to the City of Palm Beach Gardens for a building permit and/or starting any work. Indemnification: I/we agree to indemnify and hold harmless the Mirabella Homeowners Association, Inc, it's employees, agents, officers, and directors, from any claim or demand, liability, cost expense, or damage, including reasonable attorneys fees (outside of litigation, in litigation, and for any appeals) and cost, arising out of or connected with: (a) The construction of improvements under this Application, (b) Any non-compliance with the Architectural Design Standards (ADS), the Declaration of Covenants, and/or this Application, or (c) Any damage caused to Association Property or expense incurred by the Association, or to its property by any act of us, or contractors, subcontractors, employees, or agents, arising out of or connected with the construction pursuant to this Application. No request for approval shall be valid or require any action unless and until all assessments on the applicable Lot (and any interest and late charges thereon) have been paid in full.

Signature of Owner

Date Submitted

ARC Review Decision: Approved by Staff / Approved as Submitted / Approved as Noted / Revise & Resubmit / Tabled / Denied

ARC Representative Signature

Date

F.

LANDSCAPING:

1. ARTIFICIAL PLANTS:

1. All landscaping on the exterior of a house and visible from outside the property shall be real, live, plants. Use of silk, plastic, or other artificial materials that simulate real plants are prohibited (with the exception of Section 17, Grass 3, Artificial Turf, where not visible to anyone except the owner.)

2. PLANTS IN ABOVE GROUND POTS OR PLANTER BOXES:

1. It is the intent of the landscaping theme for the community to have all plants installed into the earth and to be a part of the overall yard landscaping.
2. Refer to the "pots" section of the Architectural portion of the ADS for further allowances and restrictions.
3. Plants, such as orchids, that are placed in or on trees and/or that become naturally attached to trees, are permitted.

3. HIDING MECHANICAL EQUIPMENT:

1. A densely planted hedge must be installed and maintained to hide all mechanical equipment (air conditioners, pool equipment, and generator) from view from outside the property.

4. HIDING PLAY EQUIPMENT:

1. See also "Swing sets, Play Structures, and Trampolines."
2. Owners should be allowed to have play equipment in their back yard for the enjoyment of their children or the children that visit their house. However, the entire community should not have to look at that equipment.
3. Adequate landscape screening will be required to hide all play equipment from views onto the property from outside. This will include a minimum of a 4 feet high hedge, or higher at the time of planting and allowed to grow and be trimmed to the height of the equipment, to block view of the equipment from neighbors, streets, and across lakes. In addition, accent trees may be required to filter the view of some of the taller individual elements of the play equipment that may project above the height of the hedge

5. REMOVAL OF EXISTING LANDSCAPING AND TREE REMOVAL:

1. Removal of any existing landscaping that is not intended to be replaced with matching material and placed in the same location as the removed material is not permitted without ARC approval. The existing landscaping on each property was done under the strict approval of the City and any changes to that original landscaping theme and plant quantities has to be reviewed and approved by the ARC to protect the community's original City approvals.
2. Existing low planting material (groundcover, grass, shrubs, and hedges) may be removed for maintenance purposes as long as new material that matches the existing in size and quantity is replanted within days of the removal.
3. Removal of any tree requires the approval of the ARC, whether or not the removed tree will be replaced with an exact match or larger and placed in the same location.
4. In order to maintain the value of a street tree theme in Sedona, if and when the ARC approves an Oak tree removal application, a replacement Oak tree may or may not be required, based on existing conditions of the property near the street. An alternative pre-approved replacement tree is a 12-14 ft Magnolia tree.
5. If a palm tree is considered to have Ganoderma must be removed immediately and cannot be replace with another tree.

6. ADDING OR CHANGING LANDSCAPING MATERIAL WHEN NOT ASSOCIATED WITH MAINTENANCE REPLACEMENT OF LIKE-FOR-LIKE MATERIALS:

1. Installing new landscaping material that is adding to the landscaping already existing on the property requires the ARC approval.
2. Redesign, changing, and/or rearranging the existing landscaping design of the property in whole or in part, requires ARC approval. Such redesign changes will need to conform to the original landscaping plans for the community as approved by the City during the Mirabella site plan approval process.

7. IRRIGATION:

1. Each owner is responsible for the irrigation of the landscaping on the owner's property. The irrigation system and its source for water supply were installed by the original developer. Each owner is responsible for the proper function and maintenance of the irrigation system for the owner's property and for the grass strip between the front sidewalk and the curb at the street. Owners of lake front lots are also responsible for the proper function and maintenance of the irrigation system between the rear property line and the edge of water in the lake as is outlined in the Covenants.

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2. It is not permitted to pull water from a lake to use for irrigation water.
3. Each owner is responsible to maintain the irrigation system to properly function to keep the landscaping in the yard healthy and alive, within the limits imposed by the governing authorities for lawn watering.
4. All irrigation systems shall have a rain sensor that will shut off the irrigation system if the sensor detects that the ground is wet enough from recent rainfall and the sprinklers **don't** need to operate.

8. PLANTING AGAINST NEIGHBOR'S ZLL WALL(S):

1. Exert care when planting hedges or trees near the **neighbor's** ZLL wall. It is the **neighbor's** responsibility to maintain that wall surface. Planting too close to that wall may inhibit the neighbor from properly maintaining that wall surface and keeping it watertight. Also, if the neighbor has to remove any landscaping to gain proper access to maintaining that ZLL wall surface or the roof overhang above that wall, it will **not be the neighbor's responsibility to replace any damaged landscaping that had been installed against that wall.**

9. NON-ZERO SIDE YARDS:

1. All non-zero side yards shall have sod and the drainage maintained to keep the sod alive.
2. Non-zero side yards may not have the sod removed and a bed of rocks installed unless the side yard is completely out of view to anyone except the owner.
3. **If any hardscaping is installed in this side yard, a minimum of 3' of grass and/or other landscaping shall be maintained against the neighbor's ZLL wall (see "Impervious Area" section of the ADS).**

10. DO NOT PLANT LIST:

1. The following plant species are not permitted to be planted in Mirabella:
 - a. ACACIA (*Acacia farnesiana* and *Acacia auriculiformis*).
 - b. AIR POTATO VINE (*Dioscorea bulbifera*)
 - c. CAT'S CLAW (*Minosa pigra*)
 - d. CHINESE TALLOW TREE (*Sapium sebiferum*)
 - e. CORK TREE (*Thespesia populnea*)
 - f. DOWNY ROSE MYRTLE (*Rhodomyrtus tomentosa*)
 - g. JAVA PLUM (*Syzygium cumini*)
 - h. KUDZU (*Pueraria Montana*)
 - i. LEATHER LEAF (*Colubrina asiatica*)
 - j. MAHOE (*Hibiscus tiliaceus*)
 - k. SCHEFFLERA (*Schefflera actinophylla*)
 - l. SHOEBUTTON ARDISIA (*Ardisia solanaceae*)
 - m. SMALL-LEAF CLIMBING FERN (*Lygodium microphyllum*)
 - n. WOMAN'S TONGUE (*Albizia lebbek*)
 - o. ROSEWOOD (*Dalbergia sissoo*)
 - p. MELALEUCA (*Malaleuca leucadendron*)
 - q. FICUS (all varieties except for Green Island Ficus).
 - r. BRAZILIAN PEPPER, FLORIDA HOLLY (*Schinus terebinthifolius*)
 - s. AUSTRALIAN PINE (*Casuarina equisetifolia*)
 - t. POISON WOOD (*Metodium toxiferum*)
 - u. BLACK OLIVE (*Bucida Buceras*); a "dirty" tree with fruit droppings that will stain everything beneath it.
 - v. BISCHOFIA (*Bischofia javanica*); a "dirty" tree with brittle branches that break off easily in a heavy storm.
 - w. CARROTWOOD (*Cupaniopsis anacardioides*); added in 1999 to State of Florida's "Noxious Weeds" list.
 - x. MAHOGANY (*Swietenia mahogany*); tree at mature stage is too large for any yard in the community.
 - y. NORFOLK ISLAND PINE (*Araucaria heterophylla*); does not fare well in high winds
 - z. BAMBOO (*Dracaena sanderiana*)
2. A more extensive listing of plants considered "noxious weeds" by the State of Florida can be found at <http://plants.usda.gov/java/noxious?rptType=State&stateFips=12>. This list of species provides further information on which plants are not native to Florida and are considered invasive to the survival of native Florida species.

11. ACCEPTABLE PLANT LIST:

1. Refer to the helpful "Preferred Plant List" from the Palm Beach County Planning & Zoning Department as a guide to plants that are suitable for our south Florida climate (<http://www.co.palm-beach.fl.us/pzb/Zoning/landscape/preferredplantlist.htm?targeturl=Plant%20Information>). The PBC Planning and Zoning Department has no jurisdiction for Mirabella since the community is located within the incorporated City of Palm Beach Gardens. This County reference guide happens to be a good source to know what plant species work well in the south Florida climate. This guide also provides information on growth rates, light requirements, hardiness, and if the species is native to Florida.

12. PLANTING CONSIDERATIONS:

1. Any new planting in a utility easement is not permitted unless an owner obtains a "sign-off waiver" from each utility company that lays claim to the utility easement (FPL, AT&T, Comcast, natural gas, etc.). There is a 10 foot wide utility easement that runs across the front of each lot. It is the first 10 feet back from each lot's front property line. The property line, for most lots, is the owner's side of the sidewalk that runs along the street (see Exhibits 1 & 2). See also section D. 46 of the ADS.
2. The root balls of palm trees may be planted at the property side of the utility easement so that the root ball does not encroach into the utility easement. Shade trees may be planted in the same location, however, a 6' wide x 3' deep root barrier shall be installed into the ground at the root ball to prevent the tree roots from migrating into the utility easement.
3. Plants placed along any ZLL wall should be given consideration to the owner of the ZLL wall having to eventually maneuver around that landscaping to maintain that ZLL wall and to keep it watertight.
4. Select species that will mature to be appropriately scaled to the house and available yard area. For example, choosing a shade tree species that will mature to 80' tall with a 60' spread for a 10' yard area is an inappropriate choice.
5. Do not install landscaping that will alter or hinder the surface drainage on the property, common property, or the neighbor's property.
6. Do not select plant species that are known to have an invasive root system. Such species have been known to invade underground pipes, foundations, and can cause havoc over time to all surrounding properties and utilities.
7. Install trees far enough from buildings and paved areas to give the tree sufficient room to properly grow and to retain the shape that Mother Nature intended for it. Do not plant trees that will grow to 40 feet tall only 2 feet away from driveway or entry walk pavers. It is guaranteed that the root system of that large of a tree will begin disrupting and heaving the pavers upward in mounds within just a few years.
8. Landscaping should enhance the property and architecture, not form a surrounding buffer wall or jungle surrounding a property.
9. Arrangement of landscaping should be cognizant of safety for the owner and neighbors and to not provide for a hiding place for those who might wish harm to either.
10. For longevity purposes, select plant species that are drought tolerant, have proven reliability in south Florida, and are not easily susceptible to disease or pest infestations.
11. Do not install plants directly next to paved walking areas that have branches projecting into the walking area and lower than 8 feet off of the ground or that have dangerous thorns projecting into the walking area.
12. No planting is permitted outside of an owner's property lines, including around mailboxes and in the grass strip between the sidewalk and the roadway.
13. Planting citrus trees may seem like a good idea at first but strong consideration should be given to the rodents and insects drawn to ripe fruit that falls to the ground and is not picked up for a few days.
14. Vegetable gardens are permitted, but they are not allowed to be visible from the street or neighbor, nor can they be kept "unsightly" in appearance (i.e. replacing all of the grass area or vertical plantings in a chaotic or mismanaged arrangement).
15. Landscaping placed at a neighbor's glass block window(s) must be considerate of the neighbor's right to have sufficient daylight entering through that window.
16. Vegetation must be kept away from touching a neighbor's wall and maintained lower than the neighbor's gutter level.

13. LANDSCAPING THEMES:

1. The original landscaping theme established by the developer and required by the City includes a mixture of palms and shade trees. That theme should be maintained in any landscaping changes or additions proposed by an owner. The changing of a property's landscaping theme from this existing arrangement to that of all palms or all shade trees is not permitted. A mixture must be maintained.
2. Hedges in the front yard are restricted to a maximum height of 48 inches (see also Exhibit 18). The

landscaping theme for Mirabella should be to open up front yards to the street and neighborhood and to not allow for "walling in" front yards with tall, dense, privacy-forming barriers to the street that say "keep out." See Exhibit 18 that illustrates and defines maximum allowable, maintained hedge heights for side and rear yards.

3. On a case-by-case basis, the hedge heights between homes with special, privacy circumstances, would be permitted to have hedges between 6-12 ft.
4. Hedges in front yards must be trimmed back no less than 6" from sidewalks.
5. Houses that back up to Jog Road and Hood Road have no rear hedge height restrictions.
6. For the front at pie-shaped lots that are wider in the front than in the back, hedges at the front may extend up to 8 feet in height.

14. FRONT YARD LANDSCAPING COVERAGE:

1. Front yards are one of the most important landscaping features of a property. To maintain a balance between landscaping beds and grass, the following minimum and maximum standards should be maintained.
2. See Exhibit 30 to help define what parts of a lot are considered the "front yard." The front yard area will vary by the different house models, lot configurations, and paved areas. The front yard area available for landscaping (plants, trees, planting beds, and grass), shall be the square footage of the front yard not occupied by hard paved surfaces (driveway, sidewalks) and the area enclosed by low, courtyard walls (front entry sidewalks).
3. Front yards shall have no more than 50% and no less than 20% coverage by landscape beds containing plants and/or trees. This means that between 20% and 50% of a front yard shall have grass coverage, only. The thought process behind this rule is that no front yard should be 100% grass and no front yard should have 100% coverage by mulched, landscaping beds.
4. If the visual observations of the HOA staff or the ARC think that the landscaping in a front yard might be outside of these limits, it shall be the owner's responsibility to provide calculations showing compliance with this section and/or to bring the front yard into compliance.

15. PRUNING:

1. All plant and tree pruning shall be done in strict conformance with the rules established by the Tree Care Industry Association (formerly the National Arborist Association) and "ANSI A300 Standards for Tree Care Operations: Tree, Shrub, and Other Woody Plant Maintenance - Standard Practices." (http://www.treecareindustry.org/public/gov_standards_a300.htm).
2. A maximum of one fourth (0.25) of tree canopy may be removed from a tree with in a one (1) year period, provided that the removal conforms to the standards of crown reduction, crown cleaning, crown thinning, crown raising, vista pruning, and crown restoration pruning techniques. All pruning shall comply with the American National Standards Institute 300=1995 (Tree, Shrub and other Woody Plant Maintenance), as amended.
3. Trees shall be pruned to retain their natural shape as a tree and not reshaped into any distorted, flat topped (hat raked), boxed, crowned, or other misshapen form. Cutting off all of the branches or fronds from trees is not a permitted pruning method.
4. Small trees or shrubs of a "shapeable" species (one each side of the garage) are permitted to be pruned into a "ball" or "spiral" topiary to match the original landscaping theme installed by the developer.
5. Trees improperly pruned and that destroy the tree, distorts the natural shape of the tree, or removes too many or all of the branches will be required to be replaced with a new tree of a size that closely matches the size of the improperly pruned tree.
6. Shade trees shall be pruned prior to each hurricane season to open up the tree canopy to allow the wind to blow through the trees. A tall shade tree that has a canopy completely full of branches and leaves will catch the wind like a sail and may severely damage or destroy the tree and buildings and grounds surrounding and beneath it (Refer to Section F.12).

16. LANDSCAPING STORM DAMAGE:

1. Trees and other landscaping damaged by storms and that need immediate removal shall be photographically documented prior to removal, as proof of what landscaping and its size was existing on the property prior to the storm damage. Without having such photographic proof, an owner may be required to replace removed landscaping that exceeds that of the removed landscaping.
2. It is understood that soon after the passing of a major storm that has caused extensive landscaping damage that finding suitable, sizeable, replacement landscaping is sometimes not possible. It will be a requirement

that removed trees are replaced. Application to the ARC for replacement trees is required to show the species and size of the proposed replacement tree(s) and how soon the replacement will occur. Replacement trees must be installed no later than 6 months after the storm damage has occurred.

17. GRASS:

1. Only St. Augustine grass may be used, or any variation of St. Augustine grass.
2. All areas inside of property lines and not covered by hardscaping, rocks or mulched landscaping beds shall be covered with sod.
3. Artificial turf (green color only), is permitted in a courtyard or backyard if no one else other than the owner can see that area.

18. VINES:

1. Vines installed onto a wall that will face a street shall have no visible means of support onto the wall. Use of thin, stainless steel cables or non-corrosive hooks in a wall to aid the climbing of a vine are permitted. Vines growing on a house must be neatly trimmed and managed to not appear to be wild, out-of-control, green-growth on the house walls.
2. Real wood latticework, espalier, trellises, or other real wood supports of climbing vines are not permitted due to the rot and maintenance problems associated with exposed wood in south Florida.
3. Any climbing vines or plants on the front of house shall be supported by invisible devices or hardware.

19. LANDSCAPE BEDDING MATERIALS:

1. All planting beds shall have a continuous bed of no less than 3" of landscape bedding material (mulch or rocks as defined in this section). All street view material on an owner's property shall be of the same color.
2. Mulch may be cypress or eucalyptus.
3. Rocks may be lava rocks, Timberlite stone, gray and brown colored rocks, or river rocks no larger than 2" in length or width. Use of white or off-white colored rocks of any material is not permitted, except in side or rear yards of houses where those yards cannot be seen by anyone except the owner. All wood mulch shall be of a natural color (tan, brown, red, gold, or black).
3. Recycled rubber tire mulch is only permitted if it is odor free at any time, especially right after installation. Immediate removal of such mulch will be required if any odor is detected.
4. See "Rocks and Boulders" below for use and installation of bed-positioned decorative boulders.

20. LANDSCAPE EDGING:

1. Edging of landscaped beds may be done with aluminum, black vinyl edging, or a natural/rustic stone. Stone shall not protrude higher than 8 inches above the mulch or the grass elevation. Other edging shall be maintained low to the ground and not protrude more than approximately 1 inch higher than the mulch or the grass.
2. Use of bricks, concrete, concrete blocks, wood, and other noticeable materials for edging mulched beds is not permitted.
3. Landscape edging is not required to separate mulched beds from grass or hardscaping areas.

21. LANDSCAPE MAINTENANCE:

1. Maintain all plants in a healthy, alive appearance.
2. Replace hedge plants that become "leggy" and permanently lose their leaf structure up higher than 12 inches from the ground and allow see-through "holes" in the hedge.
3. Replace dead or dying trees. Minimum replacement size shall be 12' to 14' tall with a 6' to 8' spread for shade trees and 10' of "gray wood" for palm trees.
4. Replace dying Holly trees in Isle Verde or Via Condado with one of the pre-approved replacement trees (see Exhibit 16) or apply to the ARC to use a different species not on that list. Minimum replacement size shall be 8' in height.
5. Each owner is required to maintain the grass strip between the sidewalk and the street curb where it abuts the owner's front property line.
6. Each owner on a lakefront lot is required to maintain the grass from the rear property line to the edge of water in the lake.

22. MINIMUM & SUPPLEMENTAL LANDSCAPING REQUIREMENTS:

1. Each property shall retain the minimum required trees and shrubs/groundcover plants as shown by the Exhibits at the back of the ADS that specify the allowable palette of plant species and sizes to be used to maintain minimum landscaping requirements for Sedona, Condado, and Isle Verde.
2. Owners are permitted, with ARC approval, to supplement the minimum required landscaping with additional plants and trees and of different species and sizes from that required to comply with the

minimum landscaping requirements.

3. Variations to rear yard landscaping shall be considered by the ARC on a case-by-case basis. The minimum tree requirements for rear yards along lakes shall be no less than one shade tree, or 1 triple-trunk palm tree, or 3 individual palm trees (minimum planted heights of 12 feet).
4. If any rear foundation walls are unreasonably exposed to outside view on a lake home, the wall should have a low hedge and requires ARC approval. Exact location specification or length of the hedge shall be left at the owner's discretion since every model is different.
5. The front yard tree requirement minimum of one (1) street tree, plus two (2) palm trees will be on a case-by-case basis, dependent on lot sizes and plant issues, such as disease. For replacement trees, minimum planted heights shall be 12 feet.

23. LANDSCAPE, DRIVEWAY, & SIDEWALK LIGHTING:

1. See "Decorative, Security, & Landscape Lighting" section in these ADS.

24. ANNUALS:

1. Installation and removal of annuals does not require ARC submittal or approval.

25. ROCKS AND BOULDERS:

1. See the "Landscape Bedding" section for ground covering of planting beds.
2. Boulders may be placed in landscaped beds per the following guidelines and restrictions:
 - a. Natural stone and no artificial "faux" stone materials.
 - b. Earth tone colors (tan, gray, brown). No white colors.
 - c. Maximum size per boulder of 4 feet wide x 3 feet deep x 2 feet high. Each boulder shall be placed on the ground and not stacked up in piles of boulders.
 - d. Quantity per planting bed and per yard as appropriate for the scale of each and at the discretion of the ARC.
 - e. Remove noticeable mold accumulation in a timely manner.
 - f. Position in planting beds only and not freestanding in lawn areas.
 - g. Locations, spacing, and arrangements of boulders shall appear natural and in context with the overall landscaping design of the yard.

26. LANDSCAPE REPLACEMENT WORK:

1. Replacing a tree with one of the same species, of equal size, and in the same location may be reviewed and approved by the HOA Management staff and does not have to wait for an ARC meeting to be approved. An application to the ARC for this work is necessary so that it can be verified that the proposed tree is truly a like-for-like replacement. Replacing a tree with a different species and/or size, and/or in a different location will require review and approval by the ARC. *Refer to the pre-approved replacement tree options Exhibit 16 for the Holly trees.
2. Replacing dead or deteriorated low planting material of equal or greater sized material and when of a plant species permitted by these ADS, is considered "maintenance" and does not need to be submitted for approval.
3. Reshaping of existing planting beds, adding planter beds, boulders, adding edging, and/or adding trees or reducing the quantity of existing trees, are all considered "design changes" and will require ARC review and approval.

WHAT TO SUBMIT FOR EACH PROJECT:

G. PROJECT SUBMITTAL REQUIREMENTS

Email management everything under the project you are applying for, or drop off the packet to the onsite office. For projects that include large architectural drawings, one full sized copy on paper, a digital PDF copy, or flash drive is required upon submittal. See the end of this section for additional notes for ARC Submittal.

1. ADDITIONS:

1. **Property Survey** showing existing conditions and proposed new addition. Dimensions of the new addition to all relevant property lines proving that it not to encroach over the required setback lines (Refer to Setback Exhibit 5).
2. **Lot Coverage** tabulation with calculations for the existing square footage and percentage of lot coverage and the new total area/percentage of lot coverage when adding in the addition.
3. **Impervious Area Calculations** Use Exhibit 7 to calculate the existing impervious area square footage and percentage and what it will be after the addition is built.
4. **Photos** of where the addition will be built, including photos from afar showing the overall house and adjacent houses for the ARC's accurate understanding of the area and context with the property and adjacent properties. In addition, photos of the construction process pathways shall be taken prior to the start of construction and when the construction is done.
5. **Architectural Drawings** ready for obtaining a building permit and for construction showing the addition (site plan, floor plan, roof plan, elevations, wall section, etc.). Drawings should clearly demarcate new from existing conditions, notate new finishes, texture, and colors shall match existing, and be professionally prepared to the drawing standards required to obtain a building permit at the City. Drawings may be prepared by any party legally permitted to prepare building drawings, however, all drawings submitted must be clear, concise & capable of receiving a building permit from the city.
6. **Landscape plan** showing any existing landscaping that is being altered.
7. **Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).**

2. POOL or POOL WITH BUILT-IN SPA:

1. **Property Survey** showing existing conditions and proposed new pool & deck. Dimensions from the pool & deck to all relevant property lines proving that the pool deck will not encroach over the required setback lines (Refer to Setback Exhibit 5). The pool layout and size (on the survey) must match that of the actual detailed pool drawing.
2. **Impervious Area calculations** Use Exhibit 7 to calculate the existing impervious area square footage and percentage and what it will be after the new impervious area is added (including pool deck).
3. **Photos** of the area of the property where the pool and deck will be built.
4. **Pool drawing** with the proposed pool layout and its dimensions, dimensions to surrounding property lines and the house.
5. **Landscape plan** showing any existing landscaping that is being altered.
6. **Fence Application (required for pools)** See what to submit under Fence section.
7. **Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).**

3. ABOVE GROUND SPA:

1. **Property Survey** showing the house, proposed new spa and the hardscaped deck area it will sit on, to the property lines.
2. **Photos** of the area of the property where the spa will be placed.
3. **Landscaping plan** showing the landscaping screening of the spa. Provide specifications for all new planting materials.
4. **Catalog photo** showing the spa design, materials, dimensions and height from the surface on which it will be placed.
5. **Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).**

4. SCREENED ENCLOSURE:

a. If the proposed enclosure is outside of the existing roofed area of the house:

1. **Property Survey** showing the house and dimensions of the proposed enclosure, deck and all dimensions from the enclosure to the property line. *Refer to Setbacks Exhibit 5 & 6. Refer to Exhibit 13 for Courtyard model & Exhibit 23 for El Prado Model.*
2. **Photos** of the where the enclosure will be installed.
3. **Enclosure plans** with elevation views and dimensions. Note: aluminum frame and bronze screen color.
4. **Elevation view or 3D view:** of how the proposed screen roof will be built, including the mansard roof and its slope.
5. **Impervious area calculation** Use Exhibit 7 to calculate the new impervious area (covered by the new enclosure) not to exceed the allowable Impervious Area.
6. **Landscaping plan** showing what landscaping is being altered.

b. If the screening is under an existing or new covered porch:

7. **Photos** of the where the enclosure will be installed.
8. **Enclosure Plans** with elevation views and dimension. Note: aluminum frame and screen color
9. **Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).**

WHAT TO SUBMIT FOR EACH PROJECT:

5. FENCE:

1. *Property Survey* with the proposed fence line, and any existing neighboring building walls or fences it may connect to.
2. *Landscaping plan* hedge required on the outside of the fence on lake lots.
3. *Photos* of the area of the property where the fence will be installed.
4. *Elevation* drawing showing the fence style, color, and height. Refer to Exhibit 14 for the only acceptable fence style. Refer to Exhibit 24 for the Courtyard model.
5. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

6. ROOFING:

1. *Photos* of the front of the house, and the fronts of houses to the right and left of the subject property (capture from the ground to the top of roof). Take photos at the best lit time of day to help depict the true roof tile colors.
2. *Full-sized roof tile proposed* with tile specification, blend composition (if any), and drip edge specification. Refer to Exhibit 28 for acceptable roof tile replacement options & Exhibit 29.
3. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

7. HOUSE PAINTING (exterior):

1. *Photos* of the front of the house, and the fronts of houses to the right and left of the subject property. Take photos at the best lit time of day to help depict true paint colors.
2. *Paint scheme Body and Trim color combo.* Approved HOA Benjamin Moore paint samples are available at the on-site office or community website. (Note: existing hurricane shutters will remain their original color). Refer to Exhibit 22 for zero lot wall painting tips.
3. *Application form; Contractor's Certificate of Insurance & License (see Notes at bottom).*

8. FRONT DOOR (Painting or Replacement):

1. *Photos* of the front door.
2. *Catalog page* showing the proposed front door design and specs, including side-lights if applicable.
3. *If just painting the door:* a.) Specify the pre-approved faux wood grain paint color of choice from Exhibit 8 or b.) Provide an alternative paint color chip.
4. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

9. GARAGE DOOR (Faux Wood Grain Painting):

1. *Photos* of the garage taken from street view.
2. *Specify the pre-approved faux wood grain paint color of choice from Exhibit 8*
3. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

10. AWNING:

1. *Fabric sample & awning drawing* showing overall extended size (only retractable awnings are permitted).
2. *Photos* of the house where the awning will be installed.
3. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

11. HURRICANE SHUTTERS, ROLL DOWNS, OR SCREENS:

1. *Sales Proposal* with the units numbered on the proposal.
2. *Floor plan diagram* with the openings numbered to match up with the numbered units on the proposal.
3. *Photos of every existing opening* numbered to match up with the numbered units on the proposal and floor diagram. Draw lines on each photo where the proposed shutter tracks will be placed. Refer to Exhibit 17 for guidance per model.
4. *Metal color sample* or shutter color written on the proposal.
5. *Special Details* to clarify how any arched top windows will be installed to not alter the architectural appearance and/or how built-out window trim elements will be handled with installation.
6. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*
7. *NOTE:* New residents, owning for less than 6 months, applying for hurricane protection devices are able to submit their application via email (in-between meetings) on a case-by-case basis, during Hurricane Season.

WHAT TO SUBMIT FOR EACH PROJECT:

12. IMPACT WINDOWS OR DOORS:

1. *Sales Proposal* with the units numbered on the proposal. Specify if the replacements will be Aluminum or Vinyl framed and provide the brand name and series of the units.
2. *Floor plan diagram* with the openings numbered to match up with the numbered units on the proposal.
3. *Photos of every existing opening* numbered to match up with the numbered units on the proposal and floor diagram.
4. *Select a window design of choice from Exhibits A1-V1* for the front elevation windows for your specific model.
5. *For Vinyl replacements* provide a full-sized sample of an aluminum window and a vinyl window (from the same manufacturer) so the committee can view side-by-side for determination if the vinyl unit will look equivalent to the aluminum unit. Or, provide a side-by-side photograph of an aluminum and a vinyl window, from the same manufacturer, leaning against a wall to show the comparison. This protocol is not required for vinyl window brands and series previously approved by the ARC.
6. *Special Details* Notate what windows will have proposed design changes (i.e., if changing from single-hung to sliders, single-hung to fixed, modifying a 4-pane transom into a 2-pane transom, or fixed for picture windows, etc.) Notate what new windows will have muntins (grids) or no muntins and their locations. Refer to section 40.5. of Architectural Standards for rules on muntins and Exhibits A1-V1.
7. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*
8. *NOTE:* New residents, owning for less than 6 months, applying for impact windows are able to submit their application via email (in-between meetings) on a case-by-case basis, during Hurricane Season.

13. DRIVEWAY EXPANSION, PATIO'S, PAVER SIDEWALKS:

1. *Property survey* showing dimensions of existing paved areas and the proposed expansion area, including dimensions to nearby property lines and building walls. Refer to Exhibit 15 for side load garages. Refer to Exhibit 32 for non-zero lot side walkways.
2. *Photos* of the proposed area.
3. *Landscape Plan* providing any landscape alterations.
4. *Impervious Area calculation* (use Exhibit 7) for the existing impervious area square footage and percentage and then what it will be after the additional paving is installed.
5. *Paver photograph* to prove new pavers will match the existing pavers (place paver sample on top of existing driveway pavers and take a photo)
6. *Note:* For side yard walkways, gutters are also required on the non-zero lot side of the home. See what to submit under "Gutters" section.
7. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

14. LANDSCAPING:

1. *Photos* of the landscaped area(s) being renovated.
2. *Landscape plan* with all proposed landscaping alterations, specs on proposed material (species, height, color, quantity, locations).
3. *Catalog photos (optional)* of proposed plants and/or mulch material
4. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

15. OUTDOOR KITCHEN / ENTERTAINMENT AREA / KITCHEN VENT:

1. *Photos* of the proposed location area.
2. *Sketch* of the outdoor kitchen design (materials, specs) or entertainment area, if applicable.
3. *Specification information and rendering* of the kitchen vent, if applicable. **Vents are not permitted on zero lot line side of home unless approved by the ARC.**
4. *Landscape plan* with any landscaping alterations, if applicable.
5. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

16. COACH LIGHTS, EXTERIOR LIGHTING, SATELLITE DISHES, SOLAR PANELS, SKYLIGHTS, SECURITY CAMERAS:

1. *Photos* of the proposed area(s).
2. *Catalog photos* showing the unit(s) being installed and specs.
3. *For coach lights*, provide the size of the existing lights and the size of the proposed lights.
4. *Landscape plan* for landscape lighting applications, mark an X where the lights will be installed and provide landscape detail around each light fixture.
5. *Application form, fee and deposit applicable; Contractor's Certificate of Insurance & License (see Notes at bottom).*

WHAT TO SUBMIT FOR EACH PROJECT:

17. PLAY SETS, SWING SETS, TRAMPOLINES:

1. *Property Survey* mark an X where the equipment will be installed.
2. *Photos* of the area where the equipment will be installed.
3. *Catalog Page(s) of the equipment with specs (material, color, height, etc)*
4. *Landscape plan and specs* to properly hide the equipment from outside view.
5. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

18. GENERATOR:

1. *Property Survey* with proposed generator location and dimensions
2. *Multiple Photos* of the area, and areas, leading up to where the generator will be installed, showing the overall house and adjacent house for accurate understanding of the area.
3. *Catalog page(s)* of the generator with specs.
4. *Landscape plan* showing either existing landscaping or additional proposed landscaping to properly hide unit from outside view.
5. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

19. FRONT ENTRY COURTYARD GATE (applicable only to certain house models):

1. *Photos* of the front area, from the street.
2. *Proposal Drawing* with the gate design and dimensions.
3. *Application form, fee and deposit; Contractor's Certificate of Insurance & License (see Notes at bottom).*

20. GUTTERS:

1. *Roof proposal diagram* showing location and color of proposed gutters/downspouts. Show arrows for downspout exit flow direction on property. Refer to Exhibit 25.
2. *Photos* of where the proposed gutters and downspouts will be installed (capture from roof eave down to ground).
3. *Application form and fee; Contractors Certificate of Insurances & License (see Notes at bottom).*

21. GLASS BLOCK:

1. *Sales Proposal* for new the glass block window style, with the windows numbered on the proposal. Refer to Exhibit 27 for acceptable glass block replacement designs.
2. *Photos* of the existing glass block windows, taken from outside the home. Number the photos to match the numbered windows on the proposal.
3. *Application form and fee; Contractors Certificate of Insurances & License (see Notes at bottom).*

WHAT TO SUBMIT FOR EACH PROJECT:

NOTES: Photos Do's and Don'ts:

1. It is imperative that the applicant submit photos that are adequate for the ARC members, from their living rooms or from the ARC meeting room, to completely understand the context of the property where the improvement or change is being proposed.
2. Digital photos, sent electronically, are preferred. Printed Photos should be no smaller than 4" x 6".
3. Photos should be taken to show an overall context of a subject area and not of detailed close-ups that do nothing for the ARC members to understand your property. For example, if front yard work is proposed, take photos looking back at the house, from across the street, to show the overall front of the property. It does the ARC no good to show a close-up photo of the tree roots along the ground to prove that it has begun lifting the sidewalk area. The tree's value or lack thereof can only be determined by how it plays a role in the overall composition of the front yard and thus the photos presented should show that context from multiple angles.
4. For Pool refund reviews, residents should submit "tape-measure photos" proving that approved and/or required setbacks to the surrounding property lines have been met.
5. The ARC members are volunteer residents who don't have time to personally visit each address that proposes changes to a property so the submitted photos must provide them with information similar to their having visited the property.
6. Applications may be misunderstood or rejected if the submitted photos are inadequate in properly showing the existing conditions.
7. Project revisions will be considered by email between ARC meetings if such revisions just clarify questions about the application or introduces new information that clarifies questions about the application, as it was submitted. Project revisions that change a design to be different than that which was submitted to the ARC for its first review at a meeting, will wait to be reviewed at the next ARC meeting so that the full committee can discuss the matter.

NOTES: Proof of Licensing and Insurance requirements:

8. Provide a copy of the licensed contractor's general liability insurance coverage and Worker's Compensation insurance coverage (if applicable or submit State accepted waiver), naming both "Lang Management" and "Mirabella at Mirasol Homeowners Association, Inc. (the Homeowners Association)" both as additional insured.
9. Minimum insurance coverage shall be: \$1,000,000 General Liability (each occurrence), \$2,000,000 General Aggregate, and statutory limits for Workers Compensation. Insurance coverage shall be provided for all persons working on an owner's property or delivering materials to the property, unless the sole proprietor contractor has a state approved insurance exemption.
Provide a copy of the contractor's license from the State of Florida and an occupational license from the City of Palm Beach Gardens.

H. FINAL INSPECTION & ARC DEPOSIT REFUND PROCESS:

10. Upon completion of the project, the Applicant shall notify the ARC Administrator, of the completion and request a final inspection and a refund of any ARC deposits paid. The Applicant shall email digital photos of the completed work for the ARC to review the project's final completion at its next regularly scheduled meeting and to compare it to the ARC approval conditions. The photos must be sufficient to show the work done and the surrounding areas, to show that any disturbed land areas and common areas have been properly restored (see the "Photos Do's and Don'ts" section on the previous page). The ARC Administrator shall then process the final inspection request and if a site inspection is required, one will be conducted. The owner will be notified of any corrections if necessary, to comply with the ARC review approval.
11. If the project included any new, vertical construction that was done outside of the existing building footprint area (addition, pool, screened enclosure, etc.), the applicant shall submit a final survey prepared by a Florida licensed surveyor verifying that all new vertical construction was built where it should have been built and is not encroaching over any required setback lines or property lines.
12. A final inspection of any project by the ARC shall only be for verification that the project was completed in accordance with the ARC approval and ADS requirements. A final inspection by the ARC is NOT conducted for verification of compliance with any codes, ordinances, governmental rules, or laws. Compliance with all regulatory requirements is an owner's responsibility.
13. ARC deposit refunds, for certain project types, should only be put on the ARC agenda for refunds consideration after the owner/contractor has obtained final inspections from the City of Palm Beach Gardens and has closed out all permits for the work, covered by the refund. Projects to require the Final City Permit Signoff are as follows: Generators, Pools/Above ground spa's, House Additions, Screen Enclosures (for areas outside the covered porch area), Re-roofing

J. Procedures for paying ARC fees and receiving refunds:

1. Owner makes out two separate checks to the ARC, made out to "Mirabella HOA" to cover the "fee" and "deposit" amounts at the time the project is submitted to the ARC. The amount of the fee payment, that is not to be refunded back to the owner, helps pay the overhead costs of the ARC.
2. When the project is completed, the owner must contact the HOA office, request an inspection of the completed work and email sufficient photos of the entire project.
3. The ARC may inspect the completed project for verification that the work was done in accordance with the requirements of the ADS and per the ARC approval. For most projects, the photos of the completed project required by the ADS to be submitted by the owner, should be sufficient for the ARC to verify that the work was satisfactorily completed in accordance with the necessary requirements. If the ARC feels that the project was satisfactorily completed, the ARC will approve the refund at the next regularly scheduled ARC meeting.

Notes pertaining to fee schedule:

- *a. It will be at the discretion of the ARC as to which fee category each project fits into and whether the work proposed by the application does not fit neatly into any category and needs to have a customized fee. Not all projects within the community can be contemplated and pigeonholed into this fee schedule so some project fees will be determined by a vote of the ARC members.
- *b. Multiple projects being approved at the same time will be charged a single fee based on the highest dollar amount for any of the individual projects being approved. (i.e. An application for building an addition, a pool, and a screened enclosure will be charged only for the Addition fee).
- *c. Time frames start from the date of the ARC approval letter are calendar time allocations.
- *d. The ARC and the Board reserve all rights and remedies allowed by law to enforce project completion within the time limitations noted in this schedule including but not limited to fines, revocation of ARC approval, etc.
- *e. Occasionally, the ARC is asked to offer an opinion to a prospective purchaser about certain changes/improvements the purchaser would like to make to the subject property if he/she goes forward with purchasing the property. This non-refundable fee will be payable by the prospective purchaser at the time that he/she submits a request letter seeking the ARC's review of the proposed changes and the ARC's issuance of a non-binding conceptual opinion letter.
- *f. If an existing owner has certain property improvement projects in mind but wants the ARC's advisory opinion before making formal application for the project(s), the owner will be charged the fee noted to obtain the ARC's opinion. If the owner decides to not pursue formal application to move forward with any of the projects, the fee becomes non-refundable. If the owner proceeds with an official ARC application, the Conceptual Opinion fee will be credited toward the actual fee amount of the ARC application.
- *g. Revisions to projects, once construction is underway, are understood to occur. When a revision is being made to a project already approved by the ARC, notify the HOA Management office immediately so that the revision can be reviewed before it might be considered a violation of an approved project. There will be no additional application charges for this (as long as the change is within reason). Notify the HOA Management office with an e-mail, diagrams, plans, and/or photos of the revised area so that this information can be electronically conveyed to the ARC members to be very quickly reviewed (it won't have to wait for the next ARC meeting). Project revisions will be considered by email between ARC meetings if such revisions just clarify questions about the application or introduces new information that clarifies questions about the application, as it was submitted. Project revisions that change a design to be different than that which was submitted to the ARC for its first review at a meeting, will not be reviewed except at the next ARC meeting so that the full committee can discuss the matter. Approving design changes not previously discussed or requested by the ARC will not be considered for approval by email between ARC meetings.
- *h. The "Additional Fee" will be charged for all applications submitted after the work has already started or has been completed.

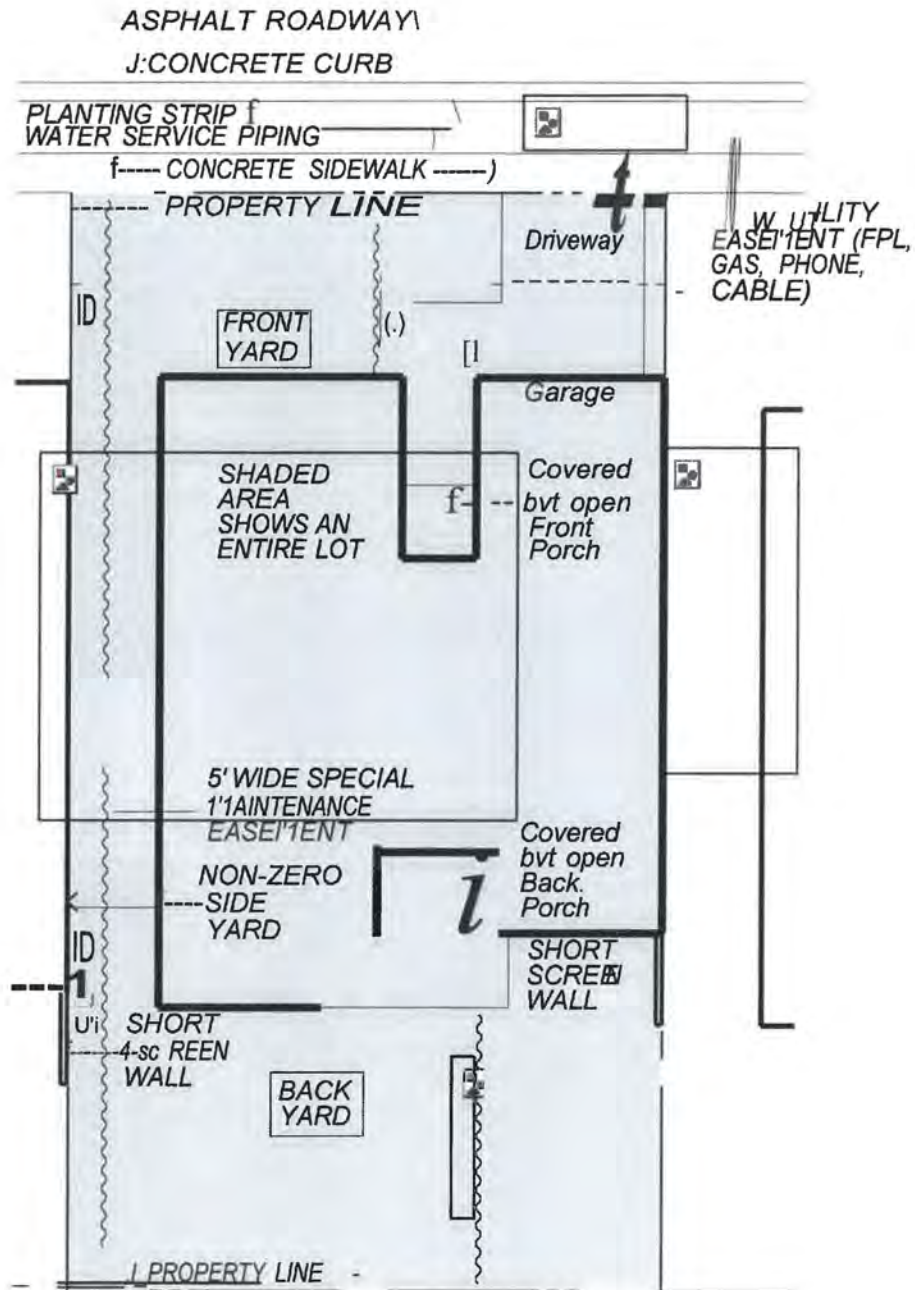
Mirabella Architectural Design Standards

I. ARC Application Fees, Refund Schedule & Construction Time Limits (REV. JANUARY 2024):

Exterior Change Item (*a, *b)

	Fee check payable to "Mirabella HOA"	Refundable deposit check payable to "Mirabella HOA"	Construction time limitation for completion of projects
1. Addition	\$ 100	\$ 1,000	9 months
2. Pool w/spa	\$ 100	\$ 1,500	7 months
3. Above ground spa (if not under covered porch)	\$ 50	\$ - 0 -	3 months
4a. Screened Enclosure (outside covered porch)	\$ 100	\$ 1,000	5 months
4b. Screening of covered porch area	\$ 50	\$ - 0 -	3 months
5. Fence	\$ 50	\$ - 0 -	3 months
6. Roofing	\$ 100	\$ 500	4 months
7. House Paint	\$ - 0 -	\$ - 0 -	2 months
8. Front door replacement	\$ 50	\$ - 0 -	2 months
9. Garage and front door painting (faux wood grain)	\$ - 0 -	\$ - 0 -	1 month
10. Awning	\$ 50	\$ - 0 -	2 months
11. Hurricane Shutters & Screen	\$ 50	\$ - 0 -	3 months
11a. Impact Windows	\$ 50	\$ - 0 -	3 months
12. Driveway Expansion	\$ 50	\$ - 0 -	3 months
13a. Landscaping (Major)	\$ 100	\$ 500	3 months
13b. Landscaping (single tree removal / replacement)	\$ 50	\$ - 0 -	1 month
14. Built-in Outdoor Kitchen, etc.	\$ 50	\$ - 0 -	3 months
15. Exterior Kitchen Vent	\$ 50	\$ - 0 -	1 month
16. Exterior Lighting, Solar Panels, Security Cameras	\$ 50	\$ - 0 -	2 months
17. Satellite Dishes	\$ 50	\$ - 0 -	1 month
18. Play Sets, Swings, Trampoline	\$ 50	\$ - 0 -	1 month
19. Generator	\$ 50	\$ - 0 -	3 months
20. Front Courtyard Gate	\$ 50	\$ - 0 -	3 months
21. Gutters	\$ 50	\$ - 0 -	2 months
22. Patio Expansion, Sidewalks	\$ 50	\$ - 0 -	3 months
23. Coach Lights	\$ - 0 -	\$ - 0 -	2 months
24. ADDITIONAL FEE (*b)	\$ 100	\$ - 0 -	
25. ADDITIONAL FEE (*h)	\$ 250	\$ - 0 -	N/A
26. ADDITIONAL FEE (*h)	\$ 250	\$ - 0 -	N/A

- There will be a \$100 fee for any projects that are cancelled and have a deposit on file.
- A fine of \$100.00 will be applied for all applications submitted after the work has been started or completed.
- Roof replace *= time frame may be changed due to tile availability.
- Fees submitted to the ARC are applied to costs incurred for administrative time spent in reviewing applications and all necessary documents relevant to the application. These fees are also applied to cover costs for building and landscaping consultants where needed as well architects and/or legal reviews of plans and correspondence.
- Time frames/limitations start from the date of ARC project approval.
- The ARC and the HOA reserve all rights and remedies allowed by law to enforce project completion within the time limitations noted above, including but not limited to fines and/or revocation of ARC approval.



Zero Lot Info & Drainage Plan

Condado & Sedona Zero Lot Information & Representative Drainage

Consolidated Design Guidelines - Parcel A, B & C

1. Unifying architectural treatments shall include:
 - Concrete Block construction with textured or sand stucco finish
 - S-tile or flat tile concrete roofs
 - Minimum 2-car garages
 - Multi-pane front elevation windows
 - Roof styles shall be either gable, hip, or Boston hip
 - Paneled garage doors to be painted the same color as the field color of the house
 - Band treatments at windows and doors on the sides of homes visible to the street
2. Building heights are not to exceed 36 feet
3. Decorative pavement shall be used on driveways and entry walks
4. Minimum quantities of plant materials required for each lot are:
 - 3 canopy trees or large palms (trees planted @ 12' o.a. height and palms species will provide a spread of 15' @ maturity, one tree to be planted within 15' of the road right-of-way)
 - 4 small trees/accent plants
 - 200 shrubs and groundcover plants

Note: The number of plants listed are minimum numbers only. Shrubs are planted @ 3 gal minimum, groundcover's are planted at 1 gal minimum. Each purchaser will be afforded the opportunity to meet with Kenca's landscape vendor in order to personalize their landscape package (within certain dollar and size parameters).
5. No two homes located side by side shall have the same combination of exterior wall, trim color, and roof tile color
6. All homes will have architectural features to accent building elevations on all sides visible from the street. Architectural features shall also return a minimum of 2 feet along side elevations.
7. No two homes located side by side shall have the same front elevation.
8. If the same model is purchased next door, the "second purchaser" must select the alternate elevation.
9. Homes next door to each other may not have the same roof tile color, accordingly the "second purchaser" must select an alternative (regardless of model type).
10. Building lot coverage shall be limited to a maximum of 50%
11. Six Color Selection combinations including roof tile, pavers, exterior paint and in accordance with the color matrix chart, are available as follows:
 - Roof Tiles - Pioneer Hacienda Type (EL-1, Kiwi, Nunez, Tuscany, Carlsbad, Newport Orange & Gold)
 - Pavers/Drives/Walkways - Paver Module (E-16, E16/E-11 mix, E-8/E2 mix, E58/E24 mix, P2/E8/P7 mix)
 - Exterior Wall Color - Benjamin Moore (light earth tones - #1033, #241, #988) Sherwin Williams - (light earth tones - #2200, 2060)
 - Exterior Trim Color - Benjamin Moore (#926, #239, #1018), Sherwin Williams -

Additional Guidelines for Parcel C:

1. No more than 3 1-story units to be built in a row for lots 4 through 25, 43 through 60, 85 through 98, and 109 through 123.
2. The front facade of each unit will include a portion of the home which exceeds the minimum front setback as per the setback table.
3. Designer quality mailboxes with climbing plant materials will be added in front of each home.
4. Additional planting will be added adjacent to both sides of the garage doors, to soften the facade of the unit.

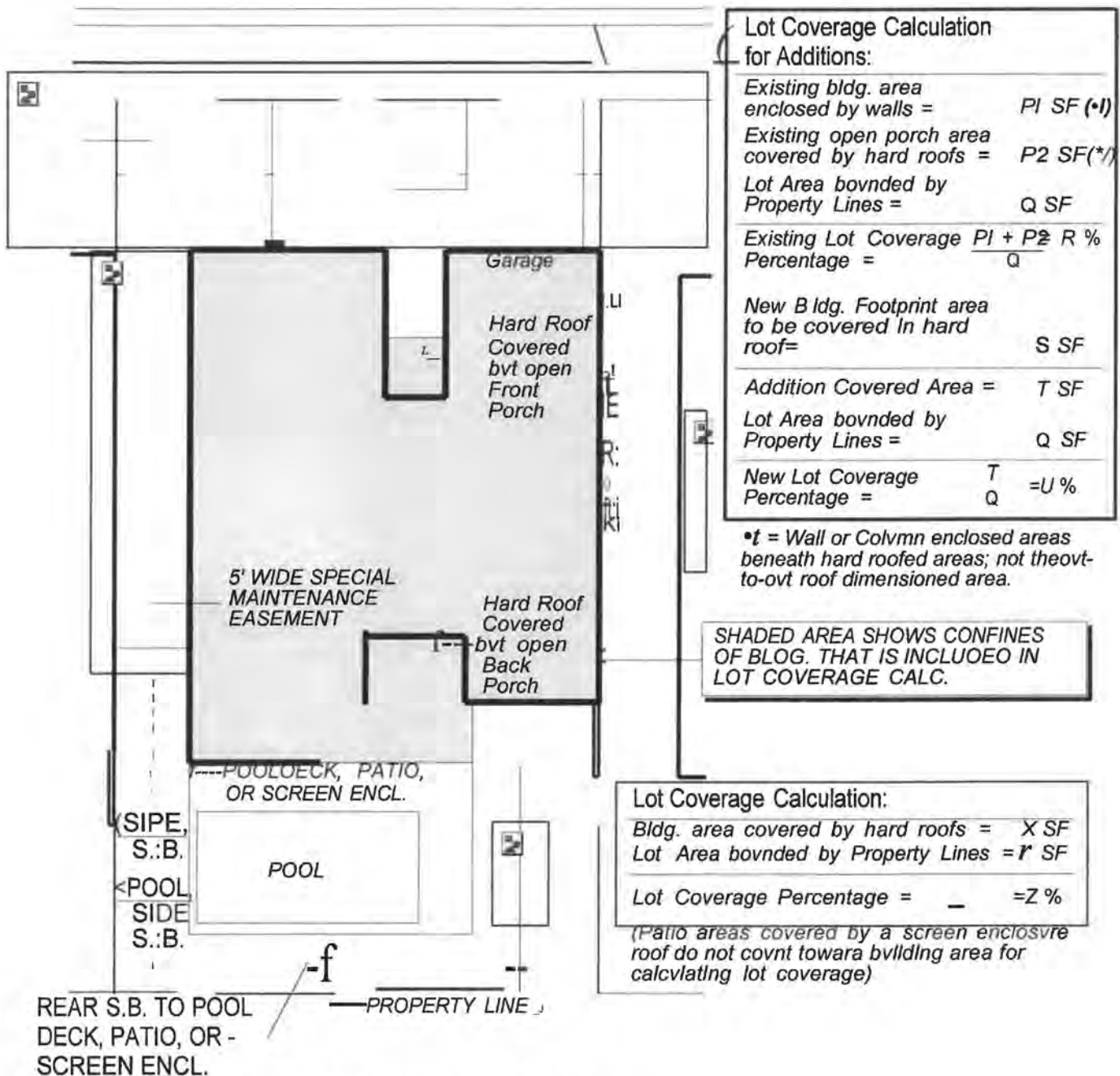
FINAL APPROVAL
Petition SP-00-23
GOLF DIGEST MIRASOL PARCEL A
RESOLUTION 78, 2001
MAY 17, 2001
Project Manager:
Talat Benothman, Senior Planner

City Design Requirements for Mirabella

Mirabella Architectural Design Standards

Exhibit 3

1-2015



Setbacks & Lot Coverage Plan

Standard Lot Setbacks & Coverage

Exhibit 4

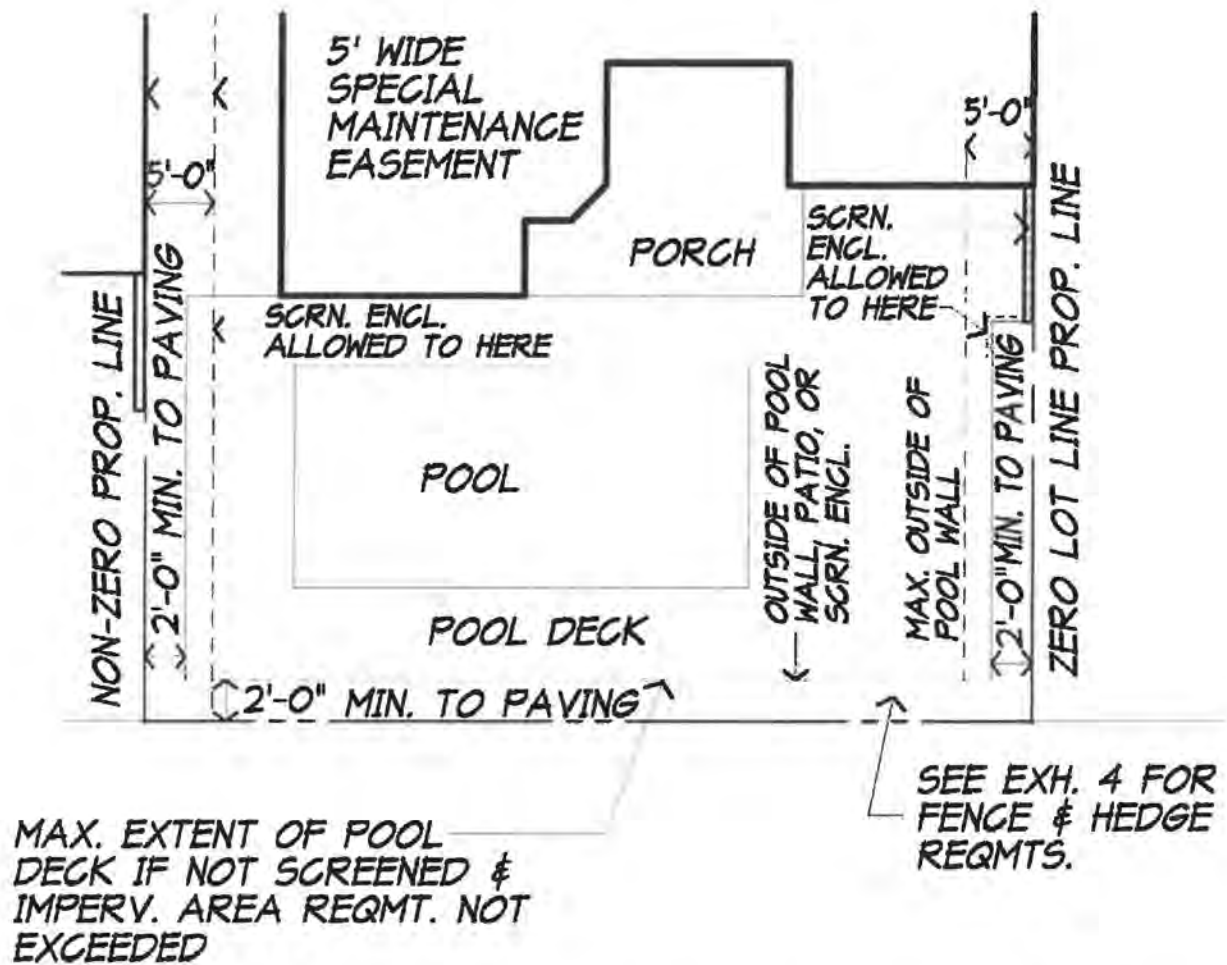
(All dimensions are in feet)	Front S.B. (front load garage)	Front S.B. to House (front load garage)	Front S.B. to Garage (front load garage)	Front S.B. (side load garage)	Zero Side S.B.	Non-Zero Side S.B.	Rear S.B.	Side at Entry	Side at Street	Max. Lot Coverage
Sedona (Parcel A) (*a) (*f)										50
Building	20	N/A	N/A	15	0	10	10	N/A	15	
Pool (*b)	N/A	N/A	N/A	N/A	3	5	3	N/A	10	
Patio/Pool deck	N/A	N/A	N/A	N/A	2	2	2	N/A	10	
Screen Encl./Spa	N/A	N/A	N/A	N/A	3 (*e, h)	5	3	N/A	10	
Summer kitchen/BBQ					8" (*g)	5	3		10	
Exception Lots (*c)							8			
(29, 115, 116, 127, 128, 148, 149, 157, 158, 173, 174, 185, 186)										
Condado (Parcel B) (*a) (*f)										50
Building	N/A	15	20	15	0	10	10	N/A	15	
Pool (*b)	N/A	N/A	N/A	N/A	3	5	3	N/A	10	
Patio/Pool deck	N/A	N/A	N/A	N/A	2	2	2	N/A	10	
Screen Encl./Summ. Kitch./Spa	N/A	N/A	N/A	N/A	3 (*e, h)	5	3	N/A	10	
Summer kitchen/BBQ					8" (*g)	5	3		10	
Exception Lots (*f)							8			
(53, 87, 120, 121, 130, 131, 132)										
Isle Verde (Parcel C) (*a) (*f)										50
Building	20	N/A	N/A	N/A	0	10	10	15	15	
Pool (*b)	N/A	N/A	N/A	N/A	3	5	3	N/A	10	
Patio/Pool deck	20	N/A	N/A	N/A	2	2	2	N/A	10	
Screen Encl./Summ. Kitch./Spa	N/A	N/A	N/A	N/A	3 (*e, h)	5	3	N/A	10	
Summer kitchen/BBQ					8" (*g)	5	3		10	
Exception Lots (*c)							8			
(99, 100, 106, 107, & 108)										

Notes:

- *a Rear setbacks for pools listed pertain to all lots in this community except for the "Exception Lots" noted.
- *b To edge of water for below ground construction; to outside edge/face of all above ground pool/spa construction elements, such as raised pool walls or spas that extend above the elevation of the ground/pool deck level.
- *c Per original site plan approval by the City, these specific lots were allowed to have only the different rear setbacks noted.
- *d See Exhibit 8 for Lot Coverage calculation method.
- *e To allow hedge landscaping on outside of construction to remain on owner's property.
- *f Minimum of 10' separation between vertical construction between buildings is required.
- *g Permitted to be built directly against existing masonry privacy wall at zero side property line
- *h Screen wall can be placed on the top of the low privacy wall at the zero side of the house. However, where the screen wall might extend into the backyard further than the end of the privacy wall, it must then maintain the minimum zero side setback for a screen enclosure.

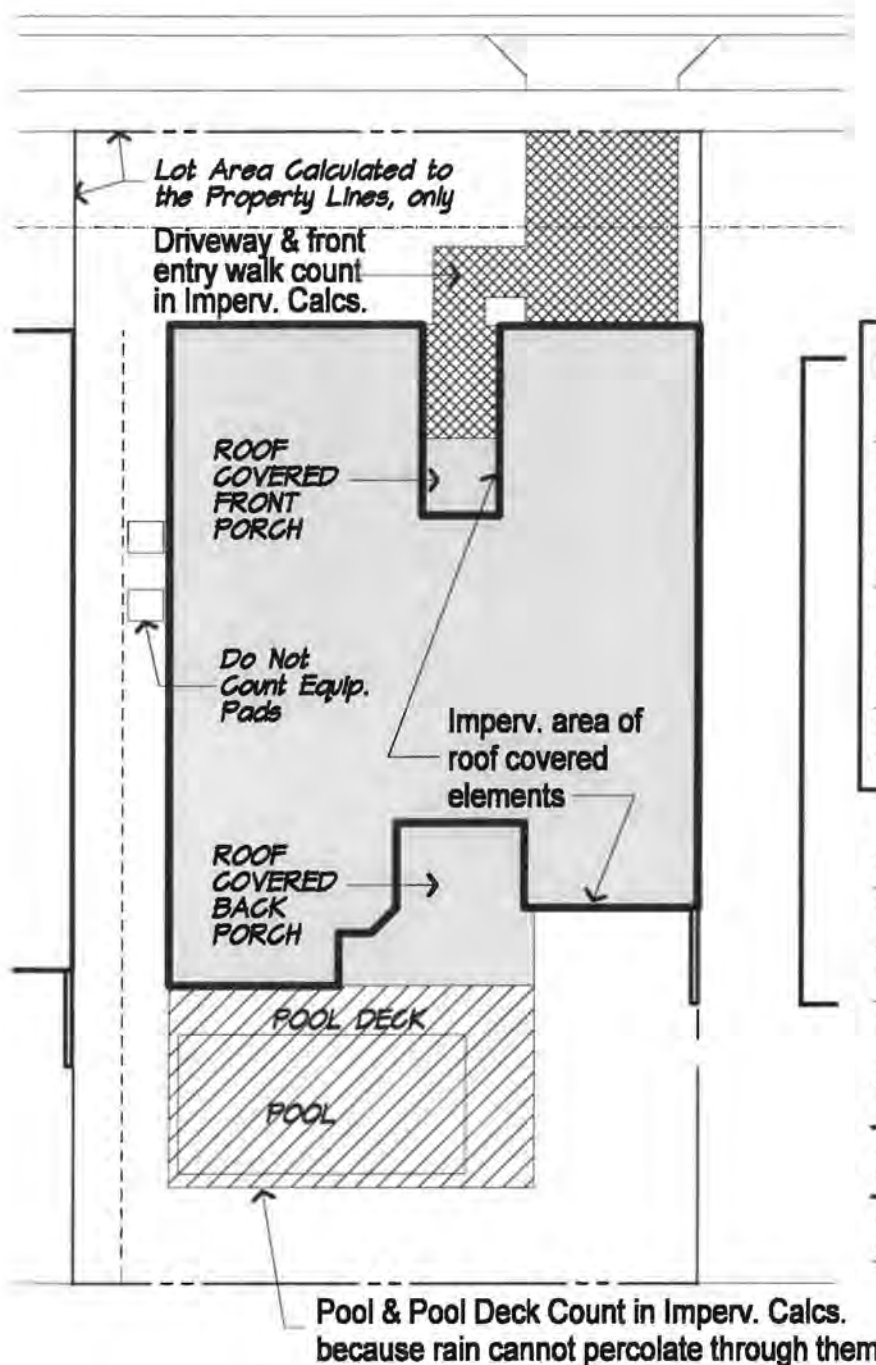
Setbacks and Lot Coverage

Exhibit 5



SEE EXH. 5 FOR OTHER CONTROLLING SETBACK REQMTS.

Patio, pool, Screen Enclosure Setbacks



Impervious Lot Coverage Calculation for adding any new Impervious Elements to the Property:

Roofed over area = P SF
 Driveway & entry walk = Q SF
 Pool & pool deck = R SF
 Other paved area = S SF

TOTAL IMPERVIOUS AREA = T SF

Lot Area bounded by Property Lines = U SF

Impervious Percentage of Property = $\frac{T}{U} = X \%$

EXAMPLE for Lot, House, Driveway, & Pool shown here:

Roofed over area = 3556 SF
 Driveway & entry walk = 478 SF
 15 x 30 Pool & pool deck = 802 SF

TOTAL IMPERVIOUS AREA = 4836 SF

Lot Area bounded by Property Lines = 7800 SF

Impervious Percentage of Property = $\frac{4836}{7800} = 12 \%$

Allowable Impervious Area per ADS = 80 %

Impervious Area Calculation Method





Sedona 1-story house (Acceptable flag pole bracket location)



Sedona 1-story house (Acceptable flag pole bracket location)



Sedona 2-story courtyard house (Acceptable flag pole bracket location)

Sedona Flag Location on House

Mirabella Architectural Design Standards

Exhibit 9

11-2008



Condado 2-story house (Acceptable flag pole bracket location)



Condado 2-story house (Acceptable flag pole bracket location)



Condado 1-story house (Acceptable flag pole bracket location)

Condado Flag Location on House

Mirabella Architectural Design Standards

Exhibit 10

11-2008



Isle Verde 2-story house front load garage (Acceptable flag pole bracket location)



Isle Verde 2-story house front load garage (Acceptable flag pole bracket location)



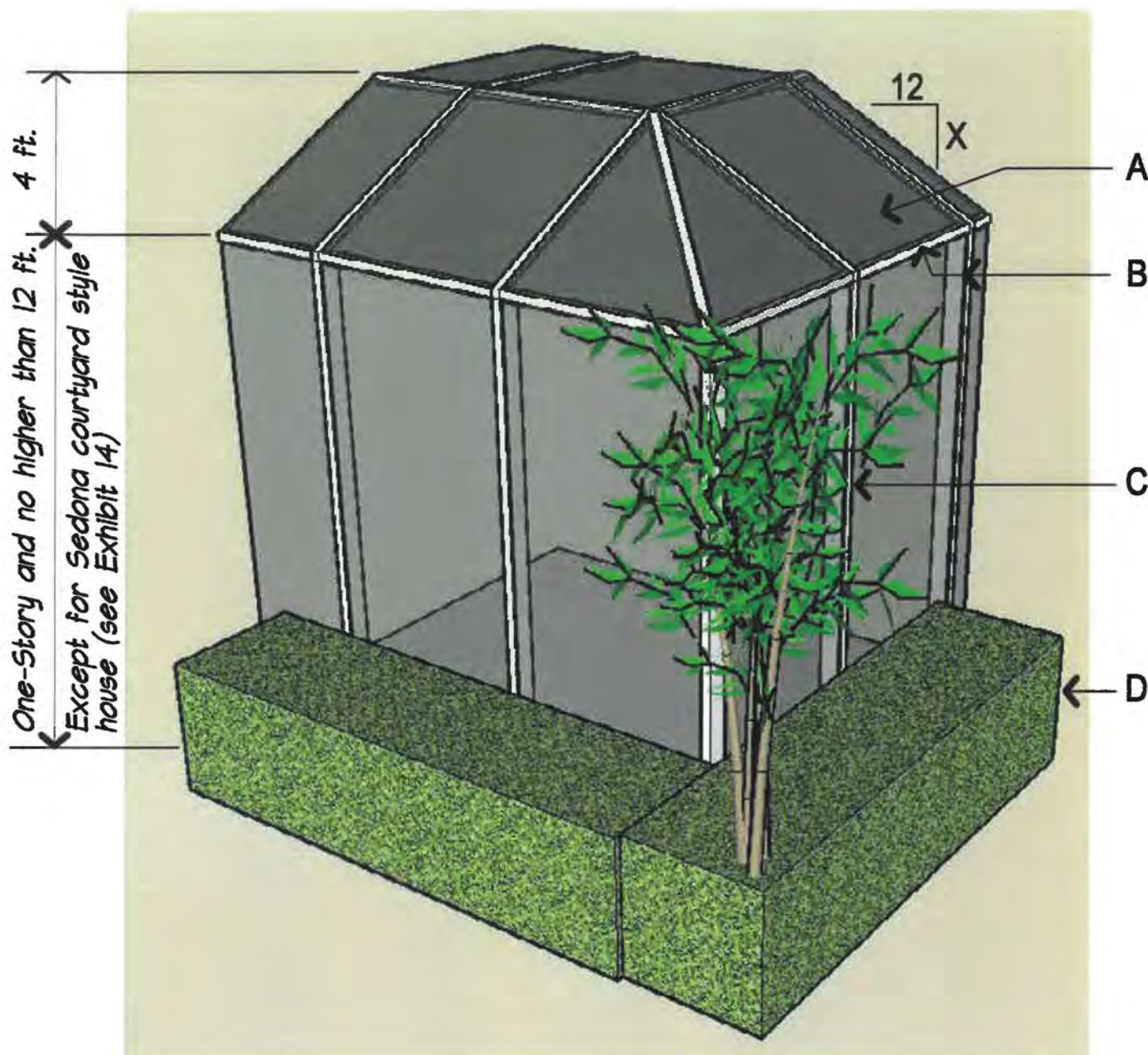
Isle Verde 1-story house (Acceptable flag pole bracket location)

Isle Verde Flag Location on House

Mirabella Architectural Design Standards

Exhibit 11

11-2008



KEY:

- A = Screen fabric shall be bronze color only.
- B = Screen frame members of sizes required by structural designer of enclosure; frame color may only be bronze.
- C = Accent plant/tree - 6' to 8' tall at time of planting at each corner of enclosure.
- D = 24" H. at time of planting, solid hedge along base of entire enclosure; plants min. 24" apart; see Landscaping section of ADS.
- X = Slope/pitch shall match house roof angle.

Screen Enclosure Standards

Mirabella Architectural Design Standards

Exhibit 12

6-2008



**Screen near front
half is 2-sty. to
extend up to 2nd
floor fascia**

**Screen in rear half
is only up to ht. of
1-sty. roof**



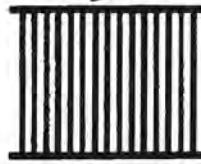
Screen Enclosure: Sedona Courtyard House

Mirabella Architectural Design Standards

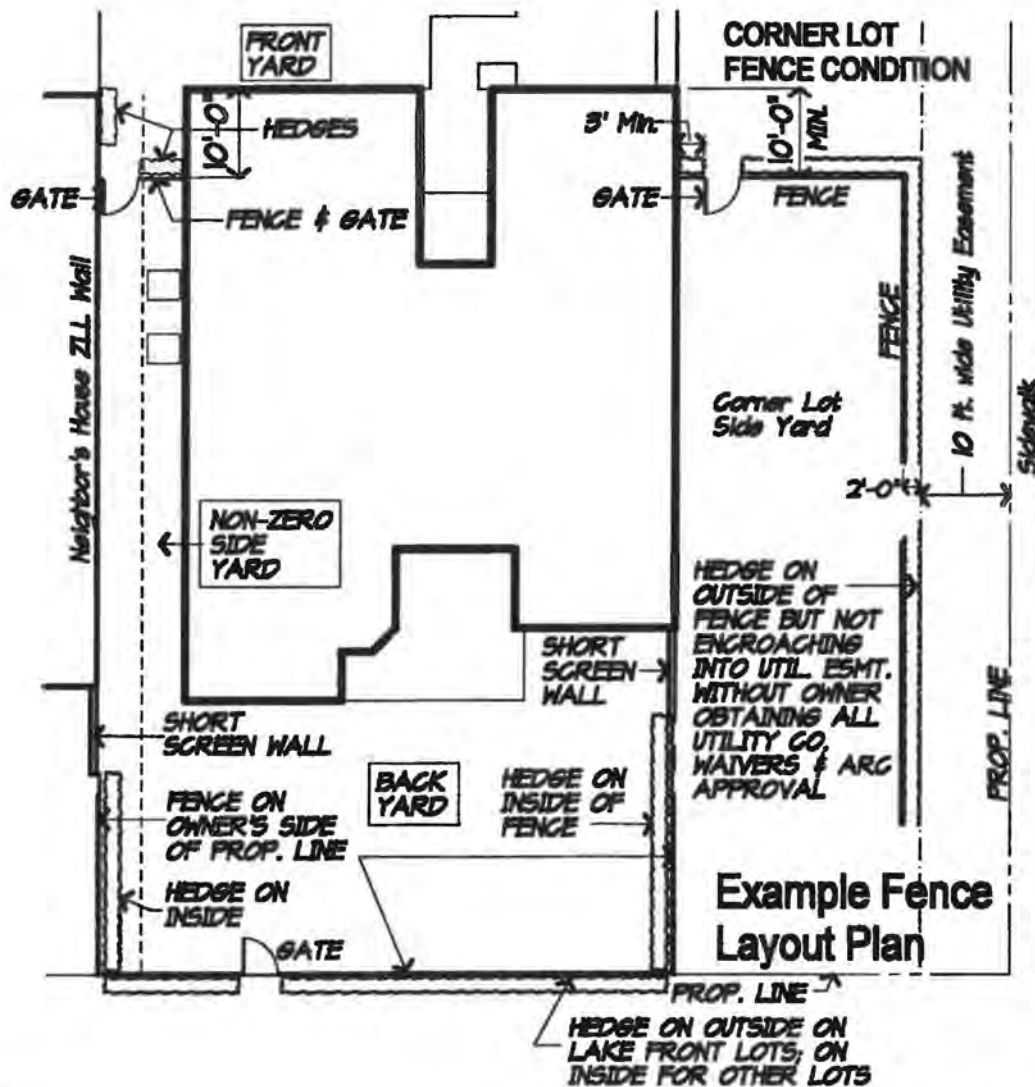
Exhibit 13

6-2008

FLAT TOP CONTINUOUS RAIL REQD. -
NO SPINDLES, SPIKES, SPEARS, OR
POSTS ABOVE THIS TOP RAIL



ACCEPTABLE FENCE STYLE



Example Fence
Layout Plan

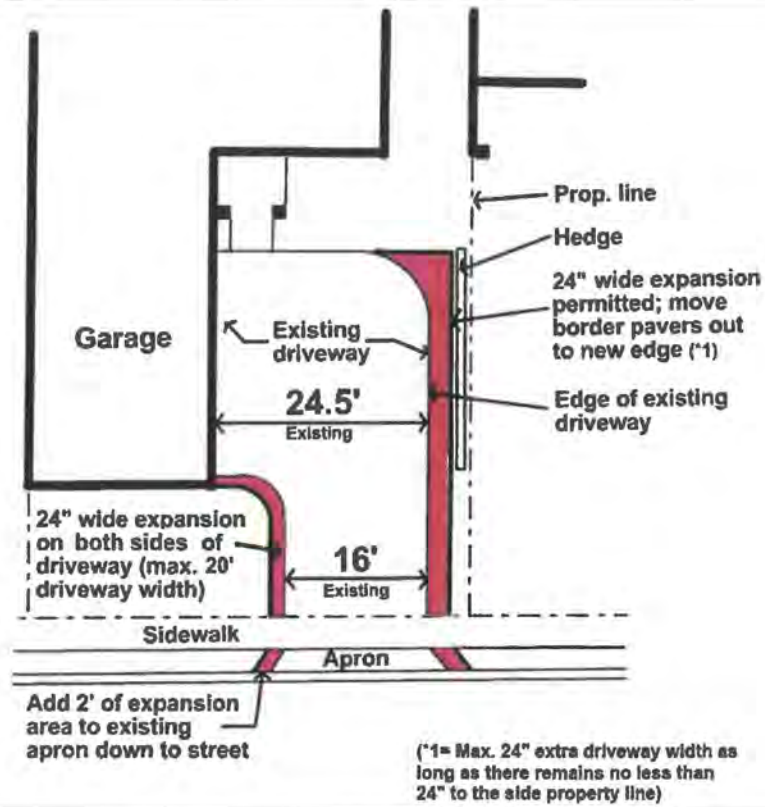
Fencing

Mirabella Architectural Design Standards

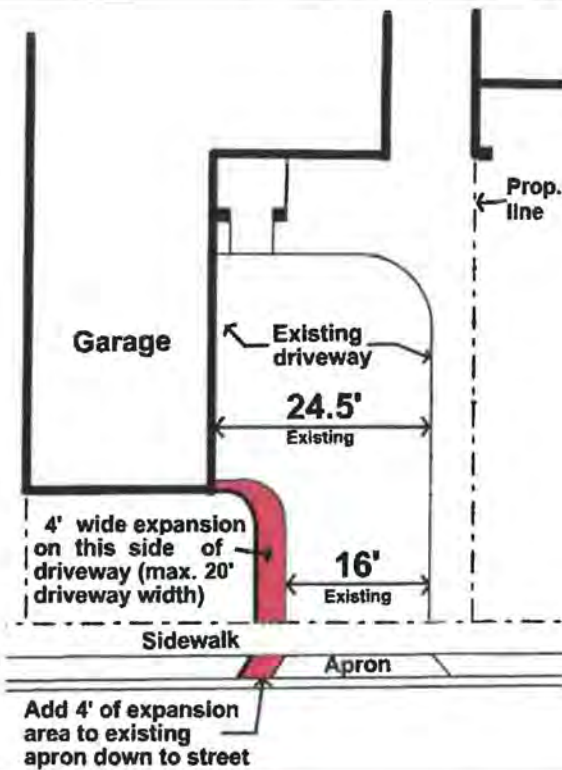
Exhibit 14

11-2008

Option A



Option B



Side-load garage driveway widening

STREET TREE REPLACEMENT PROGRAM- Via Condado and Isle Verde

The holly trees in these two communities were the original street tree species chosen by the developer and approved by the city. Many are in decline and some have died. The city forester has said that the city will not be coming through to inspect any of the original landscaping that was mandated by the development's approvals with the city. The forester has stated that if a street tree was required (it was) then a tree or a list of trees that is approved by the community should be used to establish replacement tree standards.

Below is a list of both palm trees and small shade trees that have been approved by the Mirabella Board of Directors for replacing the holly trees. These have been specifically chosen because they will remain appropriately scaled for front yards where there is not an abundance of planting area. The replacement street trees will need to remain within the front 15' of a property (measured from the sidewalk, back onto a property). To expedite approvals of tree replacements, if an owner chooses one of the pre-approved tree species in this Exhibit, the application and approval process can then be handled by the HOA staff and not have to come before the ARC.

The minimum replacement tree size shall be 8 feet tall with a spread of 6 feet to 8 feet. Locate the replacement tree to not encroach out onto sidewalks. All branches/fronds that extend out over sidewalks shall be trimmed up to at least 7 feet above the sidewalk.

PALM TREES choices - The minimum replacement tree size shall be 8 ft tall with a spread of 6-8 ft.

		
Triple trunk foxtail palm	Triple trunk Adonidia palm	Double trunk Adonidia palm
		
Double trunk solitaire palm		

Condado & Isle Verde Street Trees

Exhibit 16

SHADE TREE choices- The minimum replacement tree size shall be 8 ft tall with a spread of 6-8 ft.

 Crepe Myrtle shrub, growing to 8-10 ft. tall		
Crepe Myrtle	Ligustrum	Orange Geiger
		
Guava	Jatropha	Japanese fern



Preferred accordion shutter above arched opening
(top track up underneath the roof overhang does not disrupt the arched opening architecture)



Not acceptable.
Top track should be placed above trim or underneath the roof overhang (where it is close)



Acceptable accordion shutter at arched openings (top track just above trim)



Acceptable accordion shutter at arched openings (top track just above trim)



Acceptable: Accordion shutter inside of rectangular window opening having arched trim at top



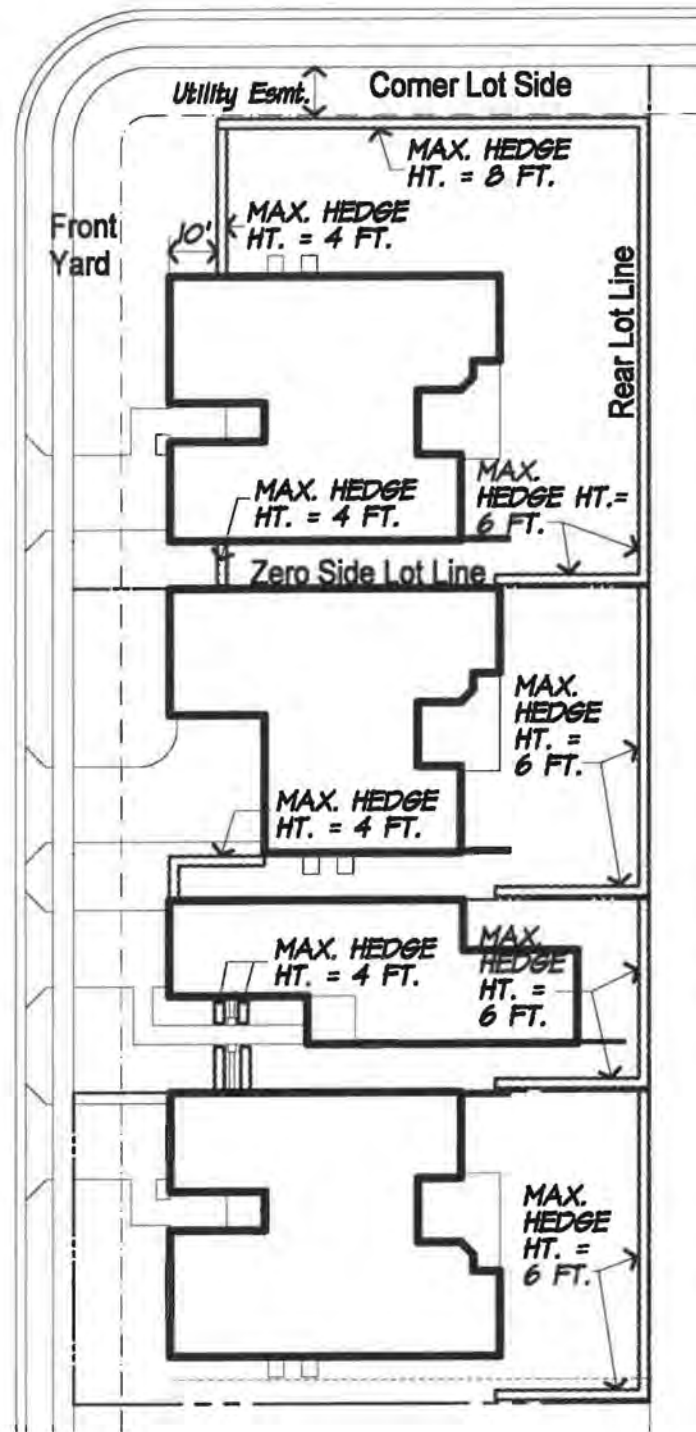
Acceptable: Accordion shutter over top of arched trim at rectangular window opening

Hurricane Protective Devices

Mirabella Architectural Design Standards

Exhibit 17

1-2015

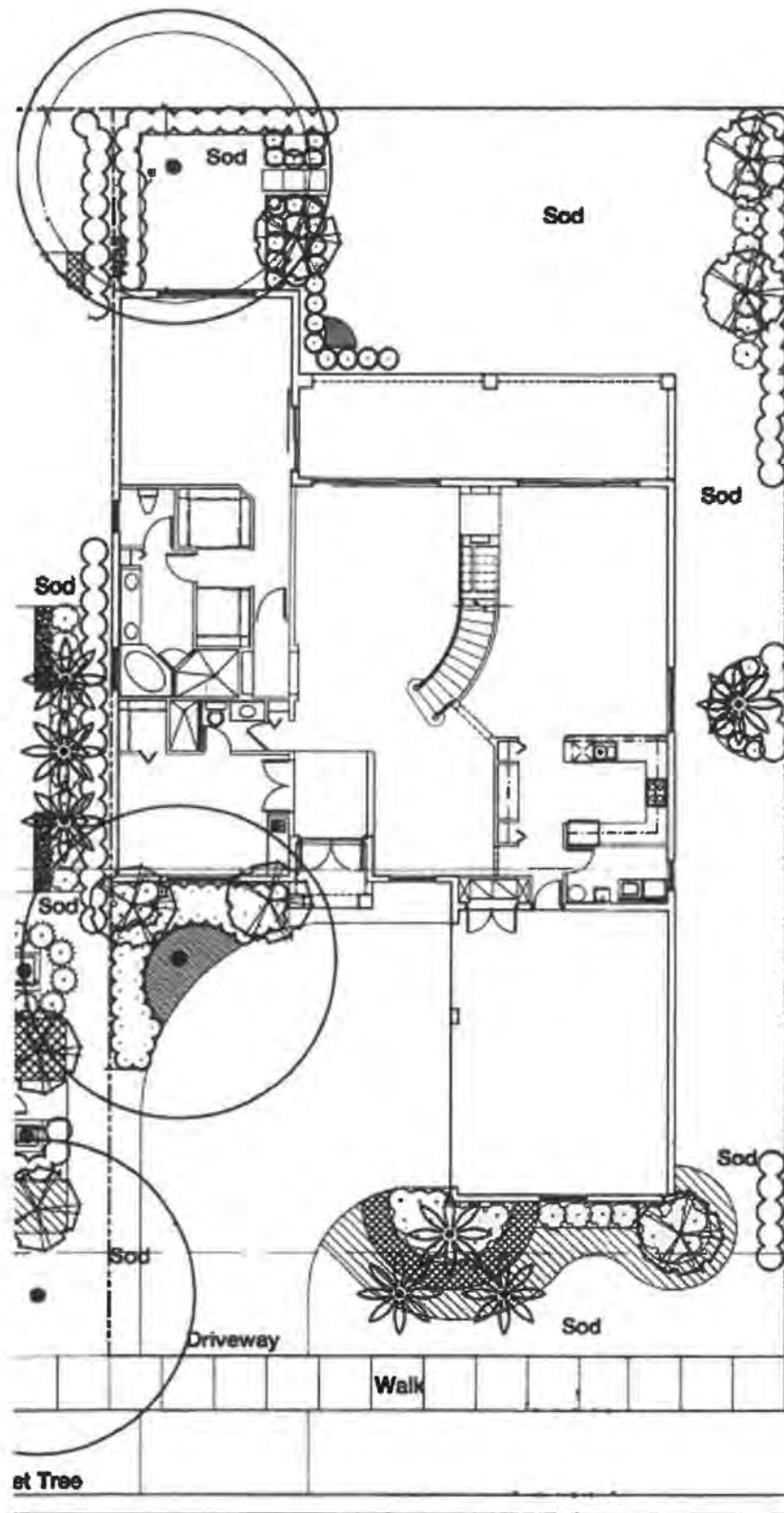


Hedges

Mirabella Architectural Design Standards

Exhibit 18

1-2015



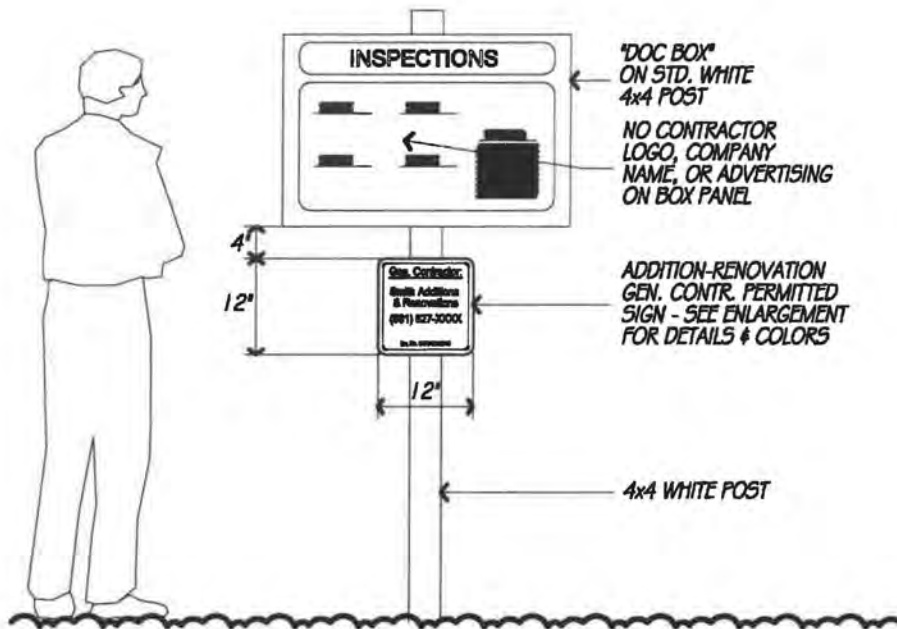
What a standard landscaping plan should look like

Standard Landscaping Plan Example

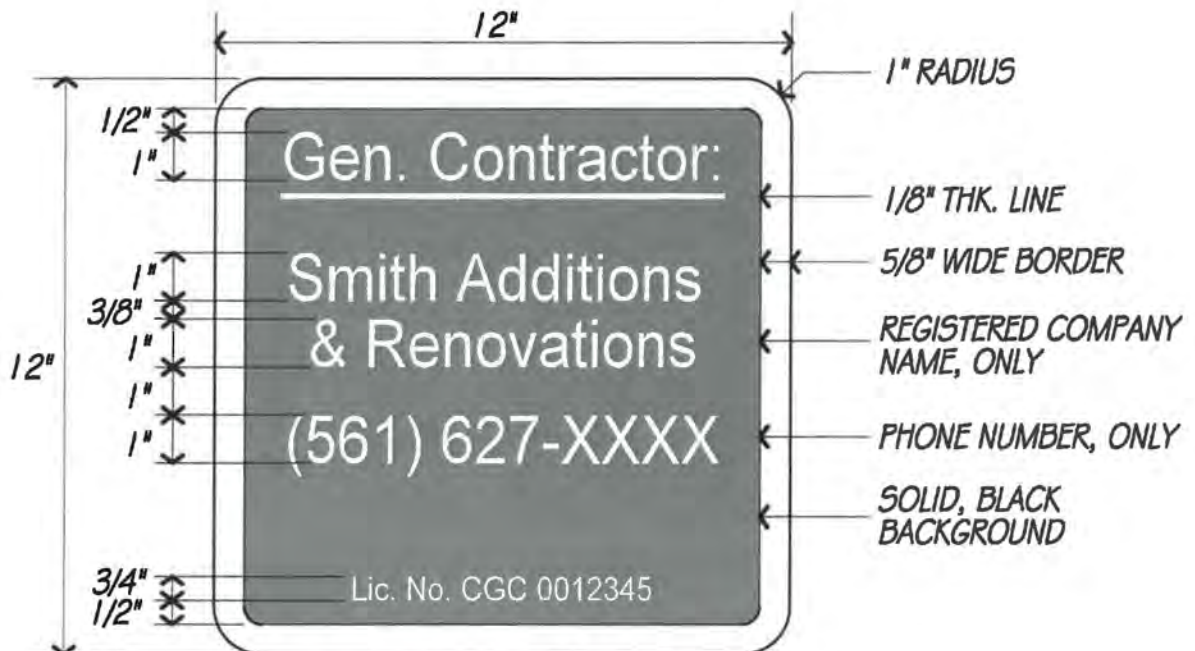
Mirabella Architectural Design Standards

Exhibit 19

1-2015



1 ADDITION-RENOVATION CONTRACTOR SIGN



LETTERING FONT: HELVETICA MEDIUM
 BACKGROUND COLOR: BLACK
 BORDER & LETTERING COLOR: WHITE
 UPPER & LOWER CASE LETTERING REQUIRED AS SHOWN
 ALL LETTERING TO BE CENTER JUSTIFIED

2 ADDITION-RENOVATION SIGN INFORMATION



PORTABLE
TOILET UNIT

6' H. SOLID
VINYL FENCING
WITH VINYL
CORNER
SUPPORT POSTS

FENCING REQUIRED
ON TWO SIDES &
FRONT FACING
THE STREET

Portable Toilet Screening Requirements

NEIGHBORLY RE-PAINTING RULES FOR ZERO LOT LINE WALLS

The following issues are of a concern to all neighbors living next to an owner having the zero lot line wall of his/her house repainted. Owners and painting contractors shall abide by the following conditions in order to maintain neighborly relations within Mirabella.

Definitions:

"Owner"	Owner of the house being repainted.
"Neighbor"	Resident next to the zero lot line wall of the Owner that is being repainted.
"Zero lot line wall"	Side wall(s) of a house that is on the property line.

Conditions:

Owners and painting contractors agree to the following:

1. Provide courtesy notification to a Neighbor that an upcoming repainting of the Owner's house will take place and that zero lot line wall access through the Owner's side yard will occur and is permitted by the 5 feet wide maintenance easement that exists alongside all zero lot line walls in Mirabella.
2. Notify a Neighbor of any fixed or portable elements (other than landscaping) that exist within 5 feet of the zero lot line wall that will be in the way of the repainting process and to offer the Neighbor the opportunity to move such items before the repainting process commences. Furthermore, inform a Neighbor that if such items are not moved by the Neighbor that the Owner or painting contractor may be required to move those items in order to properly execute the zero lot line wall repainting.
3. Respect a Neighbor's right to privacy, including their side yard adjacent to the zero lot line wall.
4. Only access the side yard directly from the street and not through the front entrance of a courtyard-style house.
5. Cover and protect Neighbor's landscaping and other side yard elements that may be affected by the pressure washing and repainting process. Carefully pull back existing landscaping that is close to the zero lot line wall to enable proper cleaning and repainting.
6. To not remove or destroy existing landscaping against the zero lot line wall unless there is no possible way to pull back and/or protect such landscaping. Notify the Neighbor of landscaping that must be removed and allow the Neighbor the opportunity to remove such before the Owner has it removed.
7. To remedy any damage and/or overspray on a Neighbor's house/property caused by the repainting process.

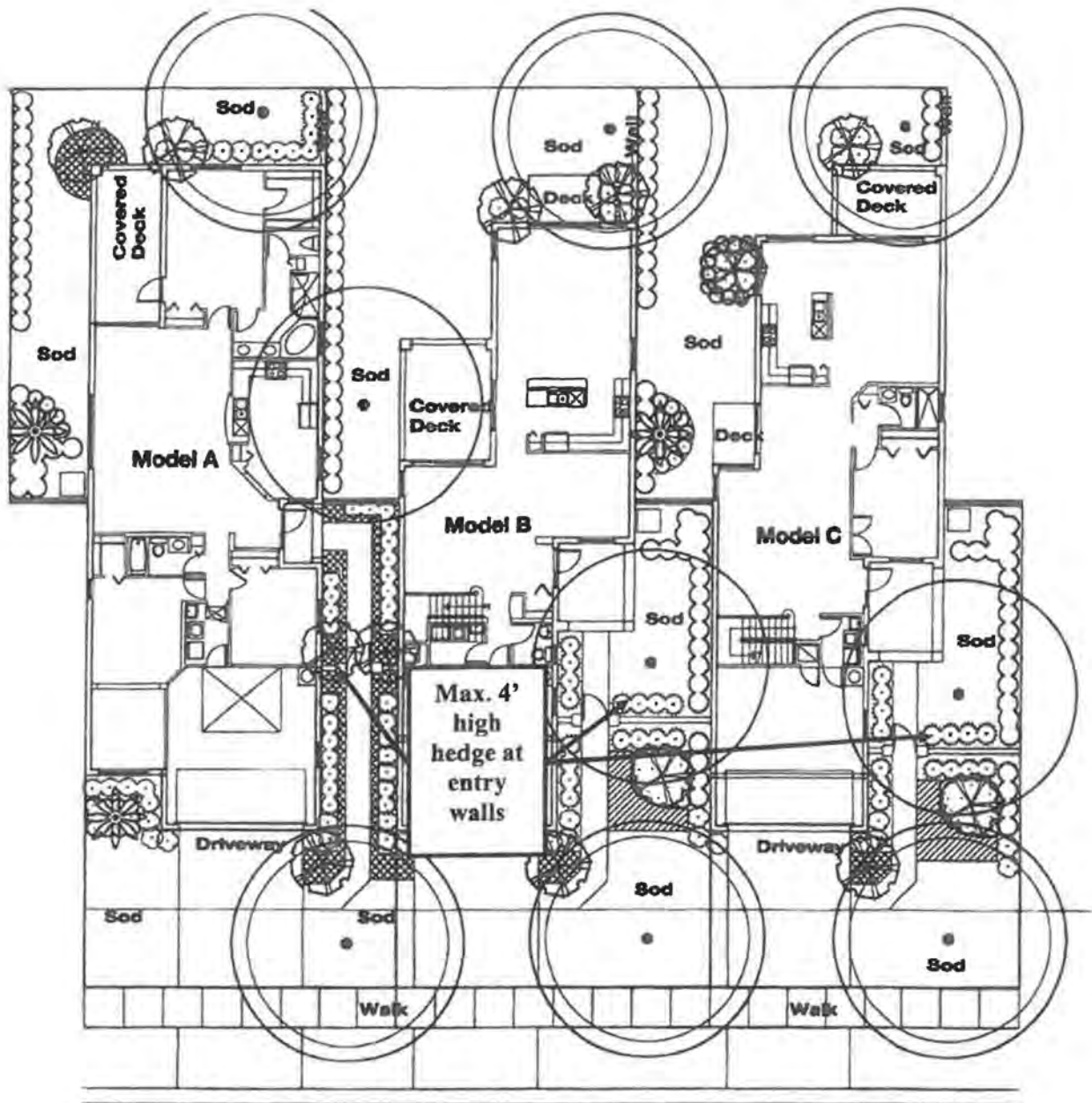


El Prado model Screen Enclosure

Mirabella Architectural Design Standards

Exhibit 23

1-2015



Isle Verde Standard Lot Minimum Landscaping Plans (see Exhibit 20 for Plant List)

Isle Verde Min. Landscaping Requirements

Mirabel/a, Arc:h ectura/ Design Standards

Exhibit 23A

11-2008

E28

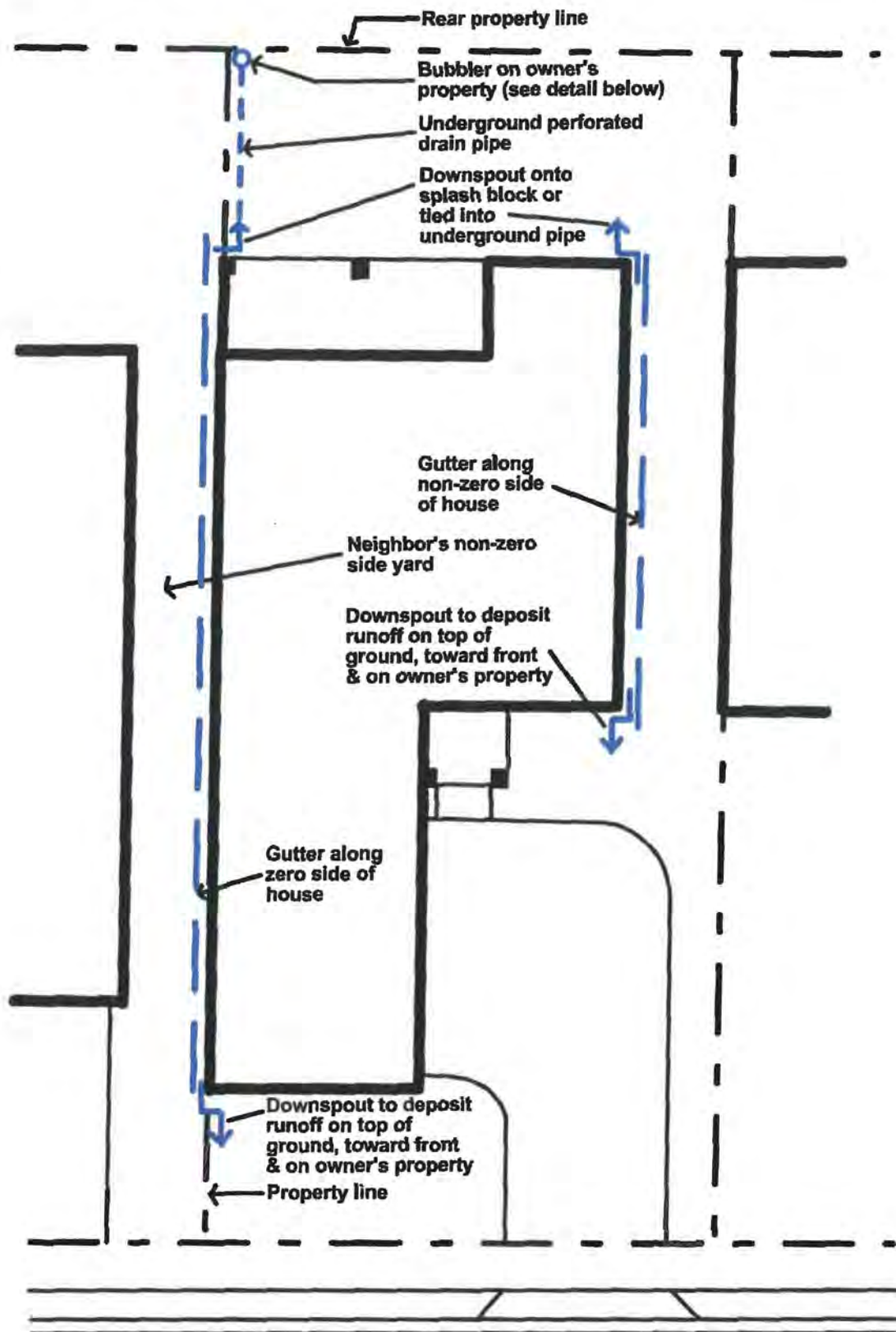


Sedona Courtyard model front fence setback at Guest House

Mirabella Architectural Design Standards

Exhibit 24

1-2015

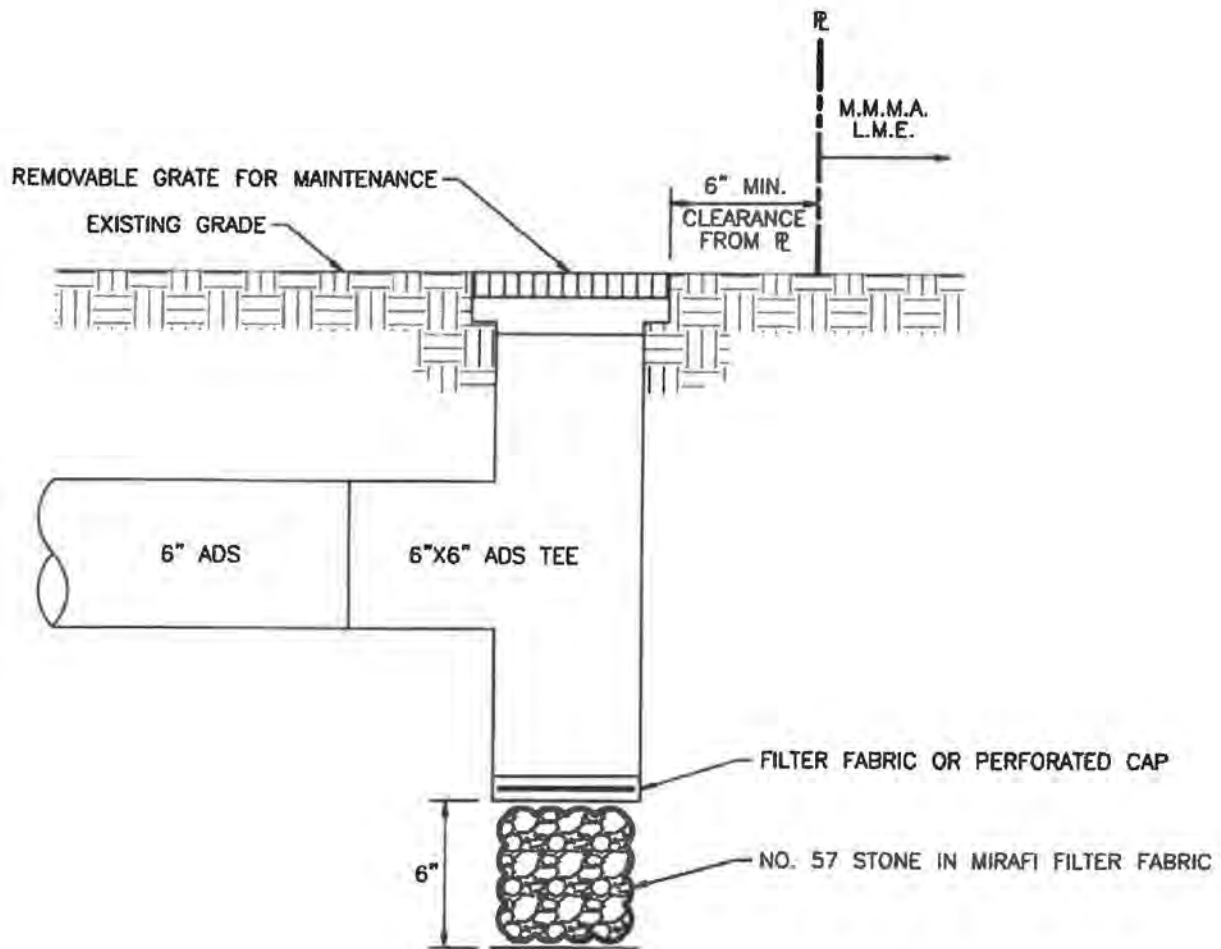


Gutters, downspouts, & bubblers

Mirabella Architectural Design Standards

Exhibit 25

1-2015



Gutters, downspouts, & bubblers

Mirabella Architectural Design Standards

Exhibit 25

1-2015

SEDONA OAK STREET TREE TRIMMING PROTOCOL

The Sedona live oak street trees are what help to define the community apart from other communities. The trees will grow to become stately, street-canopy-covering, enhancements, and attributes to Sedona. Therefore, they should be properly maintained and nurtured throughout the life of the community.

Each owner should address the following minimum requirements concerning the oak street trees:

1. It is recommended that you have each tree professionally pruned and thinned out approximately a maximum of once every two years.
2. If any tree branches extend out over the sidewalk that runs along the street and those branches are lower than 7 feet above the sidewalk, they should be correctly trimmed back to provide that minimum 7 feet of vertical clearance.
3. The tree trimming company must comply with all industry-accepted oak tree pruning protocols (Tree Care Industry Association), HOA rules, and landscaping maintenance requirements of the City of Palm Beach Gardens.
4. Unprofessional pruning of the trees may lead to fines and/or a requirement to replace the tree (with a tree of equal size). Improperly pruned trees have a tendency to become unhealthy and unsightly and are unacceptable in the community.
5. It is imperative to have the oak trees pruned and thinned prior to hurricane season (probably before the end of July). An oak tree with a year or two of growth and a head full of leaves and branches are a gigantic sail in the air for hurricane winds to catch full force. Live oak tree roots are very shallow and not like the much deeper root systems of northern oak trees. So, strong winds pushing against a tall, full, live oak tree can topple the tree over and right out of the ground and/or break off large branches that are full of leaves, causing the tree permanent deformity.

Improper pruning example



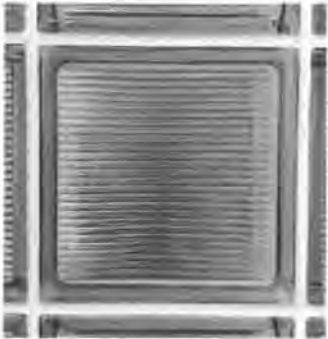
Proper pruning example



ACCEPTABLE REPLACEMENT GLASS BLOCK WINDOWS (PITTSBURGH CORNING)

	1. THICKSET 90 BLOCK ENDURA PATTERN		2. THICKSET 60 BLOCK DECORA PATTERN
	3. ENERGY EFFICIENT BLOCK DELPHI PATTERN		4. ENERGY EFFICIENT BLOCK ICESPACES PATTERN
	5. ARGUS PREMIERE SERIES PATTERN		6. ESSEX AA PATTERN

The glass block design styles shown above are acceptable replacement glass block styles for existing **Mirabella homes' glass block windows, where those windows are NOT VISIBLE from the street.** For windows visible from the street, the original Mirabella glass block style must be used (see below). All glass block shall be clear in color, made of glass and not plastic, and non-illuminated.

Original Glass Block Style	
	Essex is the original glass block style for all Mirabella glass block windows. This is the only acceptable replacement glass block to be used for any glass block windows that are visible from the street.

Replacement Glass Block Designs

Exhibit 27

ACCEPTABLE REPLACEMENT ROOF TILES FOR ENTIRE NEW ROOF INSTALLS

	1. ENTEGRA – COPPER (Estate Collection) with black antique		2. ENTEGRA – NEVEDA CLAY (Estate Collection) No antique
	3. ENTEGRA – CANYON CLAY (Estate Collection) with or without black antique is acceptable		4. ENTEGRA – SPANISH CLAY with white antique (Estate Collection)
	5. EAGLE- BOCA CREAM (Malibu Collection)		6. EAGLE- GOLDEN SAND RANGE (Malibu Collection)
	7. EAGLE - ARROWHEAD GRAY (Malibu Collection)		8. EAGLE- TERRA CAMBRA RANGE (Malibu Collection)
	9. CROWN – SAND DOLLAR (Tuscany Collection)		10. BORAL - MANDARIAN SUN (Villa Collection)

Visit https://www.entegra.com/media/documents/Brochure_27.pdf for an Entegra roofing catalog. Visit <https://engleroofing.com/resources/product-brochures/> for an Eagle roofing catalog. Visit <http://www.boralamerica.com/roofing/concrete> for Boral roofing catalog

Replacement Roof Tiles

Exhibit 28

This exhibit shall determine when it is acceptable to replace individual roof tiles versus when it is required to re-roof a complete roof slope or to replace a ridge line of cap tiles.



Roof slopes and ridges defined

It is sometimes necessary to replace individual roof tiles and/or individual ridge tiles, due to storm damage or deterioration, instead of replacing the entire roof. For aesthetic reasons, there needs to be a limit to the proportion of a roof slope or a ridge line that is acceptable to replace with individual tiles versus when it is considered unsightly to have a patchwork of repair tiles. **The rules under this “repair” exhibit only pertain to replacement tiles when they do not perfectly match the existing tiles and are noticeably different from the surrounding tiles when viewed from ground level.** Replacement tiles are also only acceptable when they are a “close match” to the existing tile color and profile. If a close match is unavailable, then a complete re-roofing of the house may be the only option.

ROOF SLOPE TILES:

1. Each roof slope shall be considered as an individual entity for determining the limits of replacement tiles.
2. When the number of replacement tiles on a slope exceeds 10% of that overall slope area or total quantity of existing tiles (rounded up to the next, whole number), then the entire slope shall be re-roofed with new, closely matching tiles.
3. As an example, from the photo above, Slope B is outlined in yellow. It contains approximately 122 roof tiles (partial tiles count as a whole tile for the total count). **For argument’s sake, Slope B contains 210 SF.** If more than 13 tiles or 21 SF of roof slope area requires replacement, then the entire roof slope will require replacement.

RIDGE TILES:

1. Each ridge line shall be considered as an individual entity for determining the limits of replacement tiles. Only full cap tiles shall be considered in the ridge tile count.
2. When the number of replacement tiles on a ridge is 50% or more of the total number of ridge tiles, then the entire ridge shall be replaced with new tiles.
3. As an example, Hip Ridge 1 contains 18 whole tiles. If 9 tiles require replacing (50% of the total), then the entire ridge line shall be replaced. If that ridge only requires 8 replacement tiles, then 8 new tiles can be installed and the rest left existing.

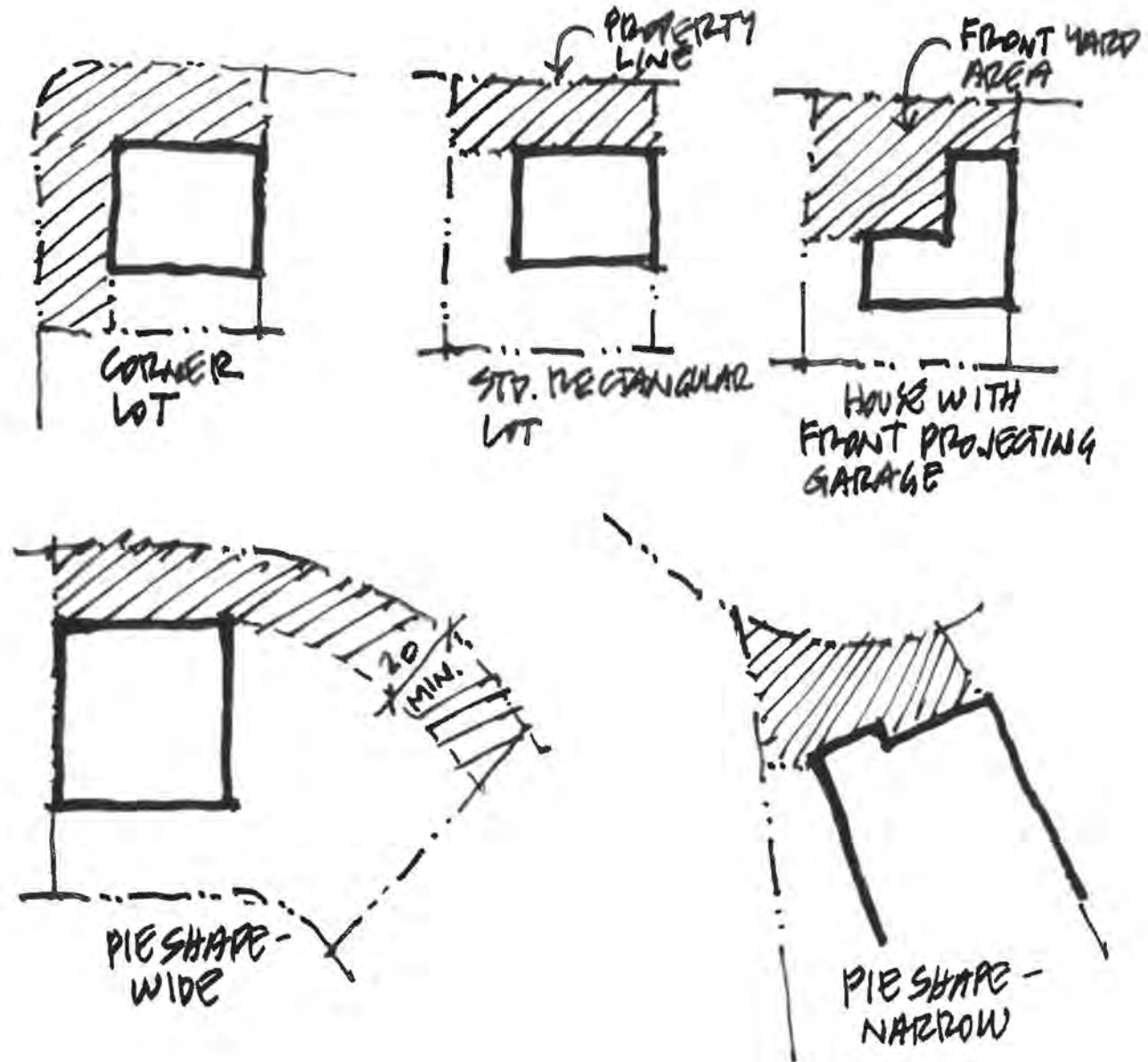
Roof tile repairs

Exhibit 29

The site plan sketches below show how the area of a “front yard” shall be defined

(The hatched areas show front yard areas for a variety of lot configurations.

Front yard area shall be defined as the unpaved square footage within these front yard zones.)



Front Yard Area Defined

Mirabella Architectural Design Standards

Exhibit 30

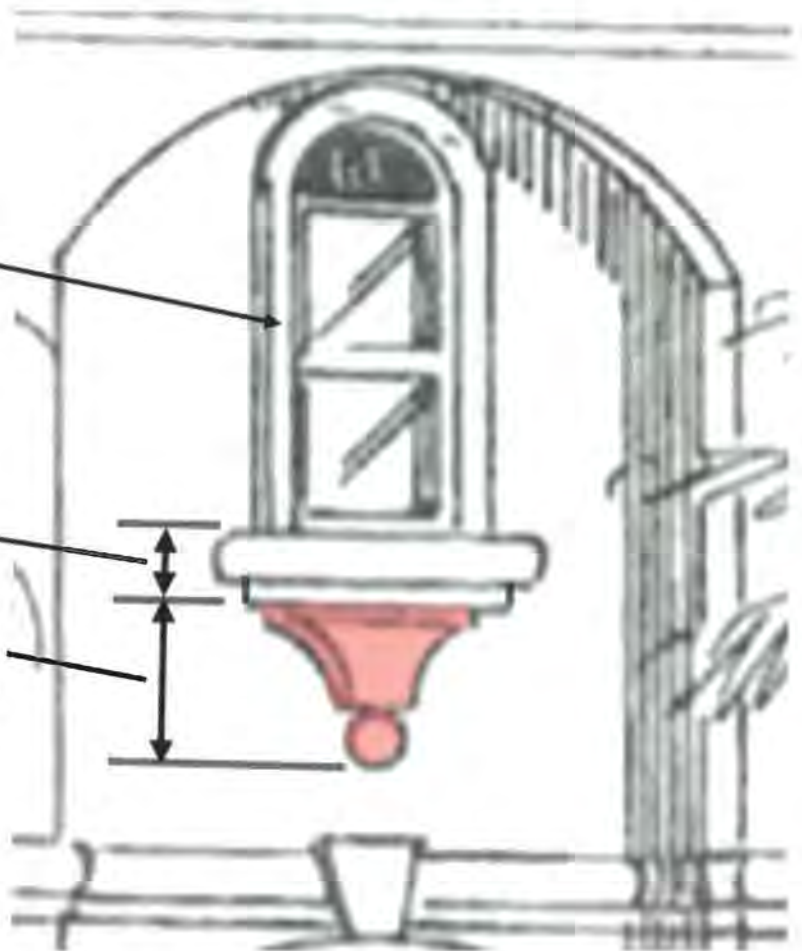
1-2018

Existing window above the front door of the Verona Courtyard house model

Existing decorative sill trim

Decorative, sill trim addition that may be added to this single window of the Verona house model. The added trim was shown to be a part of the standard Verona house design, but it was not built on the Verona models.

(Reddish tint shown on new decorative trim shown for emphasis. Trim should be painted to match existing sill trim)



Verona Courtyard Model Front Entry Second Floor Window Trim

The original Verona model's design showed the decorative, lower, window trim shown above but the developer (Kenco) omitted that extra trim from these front windows of this model. The detail above shows how to build this extra trim piece that will be an acceptable exterior change to the Verona model.

The diagram is a hand-drawn site plan of a residential property. It shows a house with a 'COV. PATIO' and a 'PAVER DRIVE'. Dimensions are provided for various areas and setbacks. A red line indicates a proposed 'side yard walk' along the right boundary. Annotations include 'Permitted side yard walk' with a list of five conditions, and 'Hide with hedge if walk visible from street'. A red box highlights a specific area on the right boundary.

Permitted side yard walk:

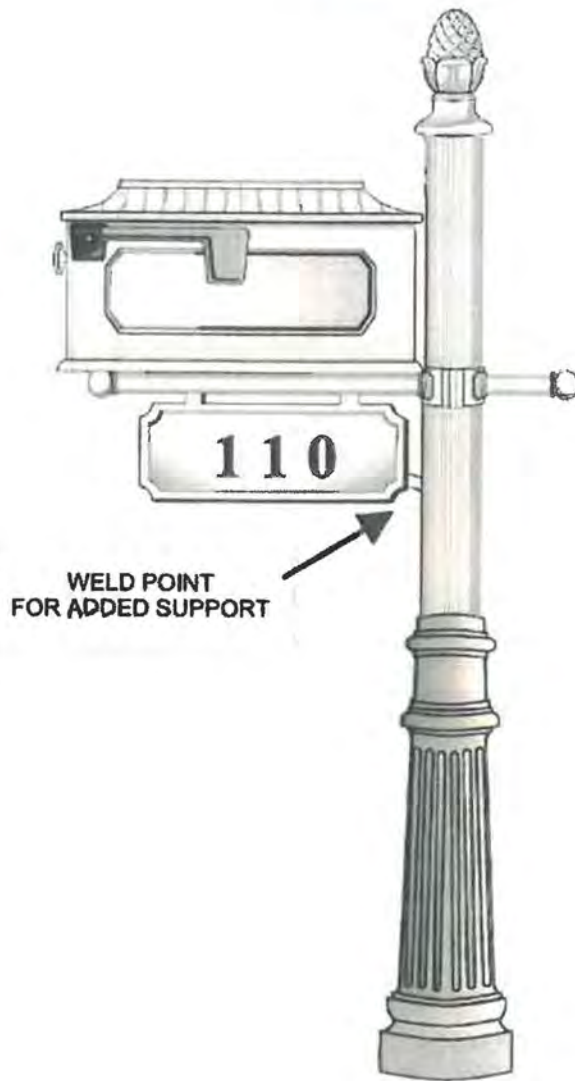
1. Max. 3' wide of concrete pavers to closely match driveway.
2. Meandering pathway.
3. Not touching building walls on either side.
4. Closer to house than neighbor.
5. Not out past front of house at side yard.

Hide with hedge if walk visible from street

Exhibit 32



Existing Design



Mailbox Design for Mirabella

Mirabella Architectural Design Standards

Exhibit 33

1-2021

Window Replacement Design Options for Street Viewed Elements

The purpose of these window standards exhibits is to establish consistency of design for the front-viewed windows within the community. The following pages depict the original front elevations for each model type and the window design options permitted. These exhibits have been prepared with only aesthetics and consistency of design in mind, not to show or insinuate that the designs can be accomplished within any required building code parameters.

For replacement windows, the following rules and options shall apply:

1. Match the original front elevation in window style, type, and muntins (grids).
2. Match the original front elevation in window style, type, and without any muntins (grids). This permits removing the muntins, not any of the wider and thicker aluminum components of the original windows designs (horizontal and vertical bars).
3. Match one of the optional elevations window style for the relevant house model. The type or function of the windows shall be determined by the owner, window vendor, and/or as required by the building code. Replacement windows must look like those shown to match the original house or one of the options regardless of how the window functions (single hung, slider, casement, fixed).

For replacement doors and windows, the following is NOT permitted:

1. Any deviation from the original front design or deviation/changes to any of the optional designs shown.
2. No mixing and matching of multiple options to develop a "hybrid" option not shown.



Bella Model Window Options

Mirabella Architectural Design Standards

Exhibit B1



Cortina Model Window Options

Mirabella Architectural Design Standards

Exhibit C1



Delgado Model Window Options

Mirabella Architectural Design Standards

Exhibit D1



El Prado Model Window Options

Mirabella Architectural Design Standards

Exhibit E1



Granada Model Window Options

Mirabella Architectural Design Standards

Exhibit G1









Palencia Model Window Options

Mirabella Architectural Design Standards

Exhibit P1



Rosello Model Window Options

Mirabella Architectural Design Standards

Exhibit R1



SEGOVIA
Original



SEGOVIA
Opt. 1



SEGOVIA
Opt. 2

Segovia Model Window Options

Mirabella Architectural Design Standards

Exhibit S1



Segovia Model 2 Window Options

Mirabella Architectural Design Standards

Exhibit S2







Verona Model Window Options

Mirabella Architectural Design Standards

Exhibit V1

Exhibit V2 – COACH LIGHTS

Options For One-Story Homes

	1. Pottery Barn 8.5" x 19.5" SKU: 5245382		2. Dixon 22" High Voltage Bronze Outdoor Wall Light Style: 1WO35
	3. Hinkley Adair 20" High Aged Zinc Outdoor Wall Light Style: 670D2		4. Irvington Manor 19" High Bronze Outdoor Lantern Traditional Wall Light Style: 32P83
	5. Argentine 21" High Bronze Seedy Glass Outdoor Wall Style: 165N1		6. Possini Euro Atkins 21 1/4" High Die Cast Matte Black Outdoor Light Style: 724V1
	7. Possini Euro Tyne 20 1/2" High Matte Black Lantern Style: 486V0		8. Mira 21 1/2" High Flat Black 3-Light Outdoor Wall Light Style: 313X1

Exhibit V2 - COACH LIGHTS

Options For One-Story Homes



Exhibit V2 - COACH LIGHTS

Options For Two-Story Homes

	1. Hish 23" Outdoor Metal Sconce SKU: 6008914		2. Hinkley Atlantis LED 24" High Black Outdoor Wall Light SKU: U2401
	3. Miner's Loft 25 ½" H Oil-Rubbed Bronze Outdoor Wall Light Style: 53X81		4. Bromley 30" High Museum Black 3-Light LED Outdoor Wall Light SKU: 34K19
	5. Hinkley Adair 24 ½" High Aged Zinc Outdoor Wall Style: 38A82		6. Capital Ellsworth 23" H Black Downbridge Outdoor Wall Light Style: 59P22
	7. Dixon 22" High Voltage Bronze Outdoor Wall Style: 1W035		8. Wellworth 22 ¾" High Bronze 3-Light Outdoor Wall SKU: 7574942

	9. Wellsworth 27" H Antique Bronze 4-Light Outdoor Wall Light SKU: 887246		10. Bromley 24 3/4" High Oil Rubbed Bronze Outdoor Wall Light Style: 10T76
	11. Havenwood 31 1/4" H Tavira Bronze and Alder Silver Outdoor Wall Light Style: 650D1		12. Quoizel Chancellor 28" High Mystic Black Outdoor Wall Style: 510T1
	13. Hinkley Bromley 24 3/4" High Museum Black Outdoor Wall Light Style: 38C26		14. Bellagio 24" High Black Dual Scroll Arm Outdoor Wall Light Style: 37761
	15. DweLED Spa 22" High Bronze LED Outdoor Wal l Light Style: 36N28		16. River Path 23" High Textured Black LED Outdoor Wall Light Style: 44H18



10. Beckman Sconce
28"

SKU: 10032836BRZ